

Connected Dunmore

Great Places Falkirk project

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1.0 Introduction

In November 2019 The Great Place scheme, partnering with the Dunmore Village Association commissioned MBLA design Ltd. to produce a feasibility study, funded by the Kelvin Valley & Falkirk LEADER Programme, for the *Connected Dunmore* project. The Falkirk area's Great Place scheme, entitled *Landscape, Industry and work* is a partnership project of Falkirk Community Trust, Falkirk Council, Scottish Canals and Central Scotland Green Network Trust.

The Kelvin Valley & Falkirk LEADER Programme (2014-2020) is a European Union Community Initiative which aims to promote economic and community development in rural areas. LEADER uses a bottom-up, partnership-based approach to rural development which will improve the quality of life and help make rural communities more sustainable.

The Great Places scheme is supported by the National Lottery through the National Lottery Heritage Fund. It is a pilot programme, investing in 9 places around Scotland with the goal of enabling heritage organisations to make a step-change in how they work together, and with other organisations in other sectors, in order that heritage contribute more to meeting local social, environmental and economic objectives. By strengthening the networks between heritage, civic and community organisations, and by involving citizens and local businesses, projects will enhance the role that heritage plays in the future of each place.

In July 2017, Dunmore Village Association identified the potential to develop a project focusing on the area's key assets, the structural remains and surviving grounds of the historic Dunmore Estate; including the ruined Dunmore Park mansion and stables, ruins of the sixteenth century Elphinstone Tower, Dunmore Wood, the famous Pineapple and the Conservation Village of Dunmore with its Smithy and Old Harbour. This area falls within Airth Parish, borders South Alloa and is part of Falkirk Council's administrative area, with input from Airth Parish Community Council. Although the village associated with the Estate is Dunmore, the prosperity of the larger Airth village would historically have had a degree of dependence on the Dunmore Estate.

2.0 Location and setting

Dunmore Park lies some 8 miles south east of Stirling and 1 mile north west of Airth on the west bank of the River Forth in the county of Falkirk. The site is bounded by the A905 Stirling Road to the north and east, and by the turnpike road linking South Alloa and Larbert to the west. The estate policy woodlands and ornamental trees, notably the Giant Wellingtonia avenue on St. Andrews drive, which are prominent when viewed from the Stirling Road and within the wider landscape viewed from the north from Clackmannanshire on the north side of the Firth of Forth.

The nearby village of Airth is historically important. A medieval village strategically located on the Firth of Forth founded by William the Lion in 1188. King James IV established a royal dockyard to serve Stirling Castle at the confluence of the Pow Burn and Firth of Forth at Airth. The harbour is thought to have been built around 1506 and ceased being used around 1516 when King James IV was defeated at Flodden. Airth was given Royal Burgh status around the end of the 12th century. Airth village was designated Conservation Area status in 1974.

Dunmore village was also strategically located on the Firth of Forth. The original village was called Elphinstone Pans, referring to the nearby castle and salt pans, and consisted of three rows of cottages housing estate workers. In the 19th century, the widow of the 6th Earl, Catherine, Countess of Dunmore, oversaw the remodelling of the village in an 'English' style around a village green. The remodelled village included a school, blacksmith and well. Dunmore was designated Conservation Area status in 1971. Dunmore Park is a remnant 19th century designed landscape which includes the unique and spectacular folly The Pineapple dated from the 18th-century and located in the extensive Walled Garden. The estate

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represents an improvement policy landscape which includes parklands, mansion house, former tower house remodelled as a Mausoleum Elphinstone Tower, stables block, Icehouse, walled garden including The Pineapple, extensive woodland plantations, and a planned estate village, Dunmore.

Both Dunmore Park and The Pineapple are included in the Inventory of Gardens and Designed Landscapes compiled and maintained by Historic Environment Scotland (HES). Nationally important sites are listed and described in the Inventory of Gardens and Designed Landscapes maintained by HES. Dunmore Park entry Ref. GDL00158 and The Pineapple entry Ref. GDL00368. However, there are hundreds of other gardens and sites, not on the Inventory, which are of regional or local significance, including Airth Castle immediately to the south of Dunmore Park, which was recently the focus of a Glorious Gardens report published by Scotland's Garden and Landscape Heritage (SGLH).



Fig 1. Dunmore village location

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3.0 Historic development of the designed landscape

Features pre-dating the designed landscape

The castles of Airth and Elphinstone were sighted on rocky promontories which commanded long views across the carse, meaning flat, landscape. The land between the rocky promontories upon which both fortified structures were located has been gradually reclaimed during the 18th and early 19th centuries, as can be seen below.

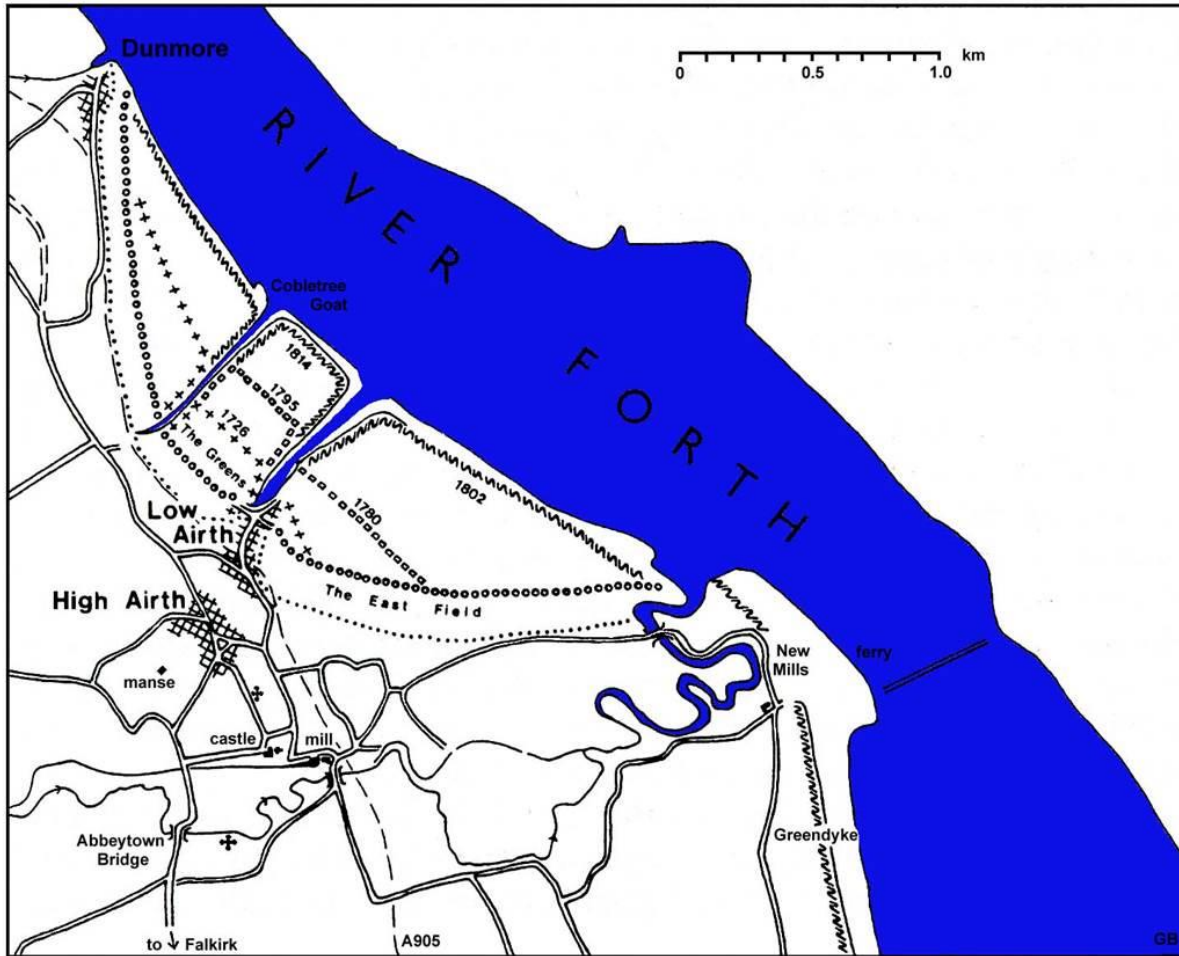


Fig 2. Successive sea banks at Airth, prepared and reproduced by kind permission of Geoff Bailey, Heritage Engagement Officer, Falkirk Community Trust. Copyright Geoff Bailey, Falkirk Community Trust.

Hill of Dunmore enclosure

A nearly circular earthwork on top of the Hill of Dunmore. The earthworks are barely discernible and best seen in aerial photographs. The earthwork has been destroyed by tree planting and ploughing.

Development periods of the Dunmore Park designed landscape

Elphinstone appears on maps from the 16th century onwards. This section summarises the changes within the designed landscape which are captured on successive historic maps.

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Fig 3. Pont's East Central Lowlands (Stirling, Falkirk and Kilsyth) (1593-96).

Timothy Pont records Elphinsto(n) Castle sketching what appears to be a four-storey structure, surmounted with turrets, with a lesser structure extending to the west. The castle appears to be within a round enclosure with trees planted to the boundary and interior. The castle has been drawn next the Firth of Forth. Further analysis of Pont's Map appears to indicate the Royal harbour at Airth, depicted by circles surmounted by crowns. Sailing ships are depicted in the Firth, at the point where the Pow Burn enters the Forth. Airth Castle is depicted to the south as a substantial three storey structure with four storey-tower.



Fig 4. Bleau Atlas of Scotland (Stirlingshire) (1654).

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Bleau's Atlas was based upon Timothy Pont's manuscript and therefore depicts Elphinstoun Castle as Pont had earlier in 1593-96.



Fig 5. Adair A Map of the countries about Stirling (c.1680)

John Adair records Elphinstoun Castle set amongst trees, depicting a woodland to the north west. What is of particular interest is the recording of Elphinstoun pans next to a small inlet. This is the first record of the village which was later to become Dunmore.



Fig 6. Roy's Military Survey of Scotland (Lowlands) (1747-55)

Roy's Map is the first to show the area around Elphinstone in detail. The context extract (left) indicates a drive connecting Elphinstone with the settlement of Airth to the south west. The section of the drive immediately to the south of the castle appears to be tree lined. As does a drive to the east of the castle. A watercourse can be traced between the drive and Elphinstone pans. Elphinstone pans is depicted as a

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group of four terraced dwellings, arranged in a rectangle, with a larger dwelling to the south. The map depicts a woodland block to the west of the castle, complete with rides or clearings. Dunmore Moss is depicted as a substantial area extending to the north and west. Place names to the north of Elphinstone are Coalgateside, referring to an early mine and Pytree, which appears on latter maps as Pyetrees. The map may also depict an early reclamation dyke.



Fig 7. A Map of Stirlingshire from a Survey by William Edgar (1745)

Records less detail than Roy's Military Survey, Edgar records Elphinstone Pons, Elphinstone, and Airth Toun.

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Fig 8. Charles Ross A Map of Stirlingshire from an actual survey (1780)

The map by Ross is rather peculiar as it depicts Elphinstone Tower, not named, Elphinstone as a dwelling, and Dunmore Park as a dwelling where Dunmore village is located. The Stirling Road, turnpike road and Westfield Farm road are depicted, as are drives within the estate policies.



Fig 9. Grassom's Map to The Noblemen and Gentlemen of the County of Stirlingshire (1817)

Grassom's plan indicates the roads, turnpikes and drives in detail for the first time. The drive connecting Dunmore Park with Airth, via Hill, what is now known as the East Drive and St. Andrews Drive to the east of 'Tower' no longer named Elphinstone is depicted. Slightly further to the east is the Stirling Road. The drive linking Dunmore village with Dunmore Park is evident. As are tree roundels and tree belts (shelterbelts) immediately to the north of the Stirling Road. The woodland policies associated with

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Elphinstone Tower are depicted. The turnpike road to the west clearly demarcates the extent of the woodland policies and adjacent Dunmore Moss. Despite predating Dunmore Park mansion house by three to five years, the annotations Dunmore Ho. (House) and Dunmore Park are evident. Sometime between Roy's Map dated 1747-55 and Grassom's Map dated 1817 Elphinstone pans was renamed Dunmore.

Development of the Dunmore Park designed landscape between 1860-1924

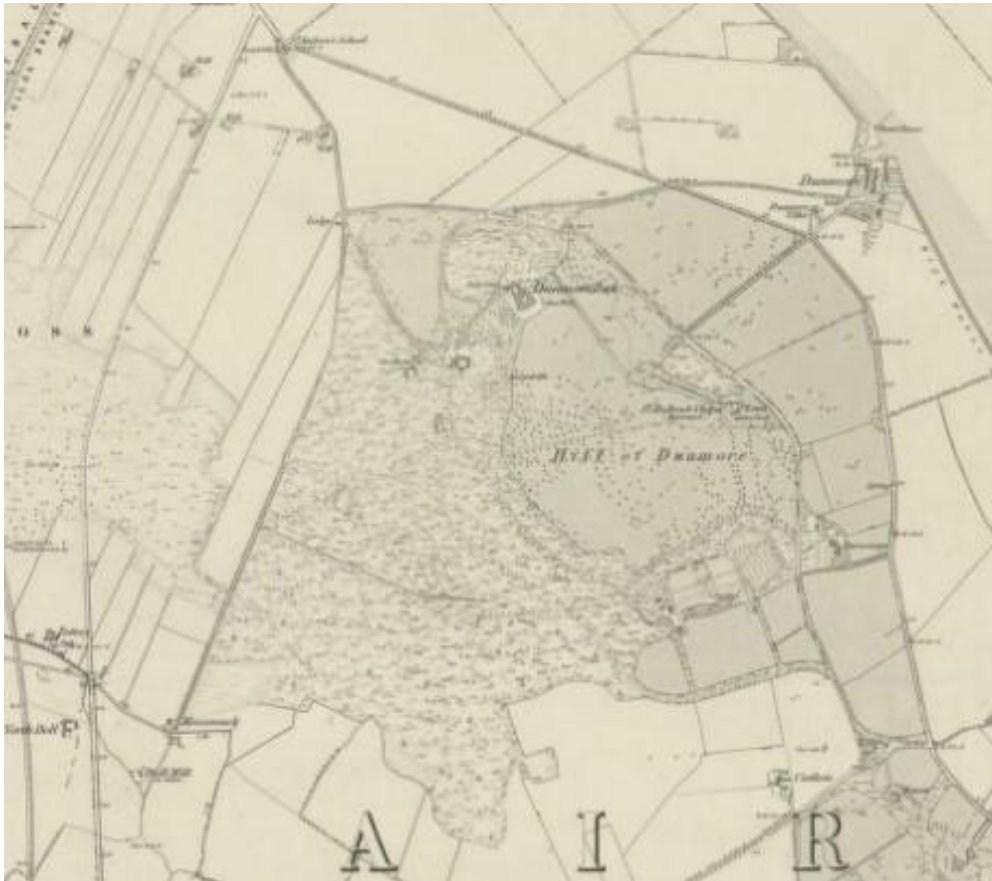


Fig 10. OS First Edition Map Series Sheet XVIII surveyed 1860 published 1865

The early 18th century was an era of rapid development in science, the arts and social thought. Agriculture, as the principal economic driver of the time, was of particular interest and the development of new machinery, husbandry and land management techniques spread relatively quickly amongst the land-owning classes.

The extent of the estate policies laid out around Dunmore Park Mansion House constructed c.1820 are recorded on the OS First Edition Map Series surveyed in 1860. The Dunmore Park estate policies extend to the Stirling Road to the east, the turnpike road to the west, the north boundary is defined by the Lodge on the turnpike road and watercourse to Dunmore which runs roughly east west, and to the south by the woodland policies which extend from Mossneuk on the west boundary to East Lodge. Hill of Dunmore is located at the centre of the estate policies.

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OS First Edition Map extract - Hill of Dunmore

Hill of Dunmore comprises a single enclosure planted with a substantial number of specimen trees. A quick head count arrives at one hundred. The symbol used depicts deciduous trees. The solid line to the boundary would suggest a fenced enclosure, most probably defined by metal estate strap fencing. There is a prominent east west drive between St. Andrew's Chapel and the woodland policies to the west. There is a walk linking St. Andrew's Chapel with Dunmore Park. This route is enclosed by (assumed) estate strap fences where it crosses the policies, before continuing as a walk above the escarpment to the graveyard associated with St. Andrew's Chapel. This path would have most likely been the route taken by successive generations of Dunmore's when attending the estates Chapel, burial ground and family Mausoleum. There is a further path linking the tower and the walled garden. There are several walks indicated within St. Andrew's Chapel and tower enclosure, including a 'lower' path below the escarpment. The circles with a dot indicated within the solid boundary lines indicate the location of 'kissing' gates within the estate fences.

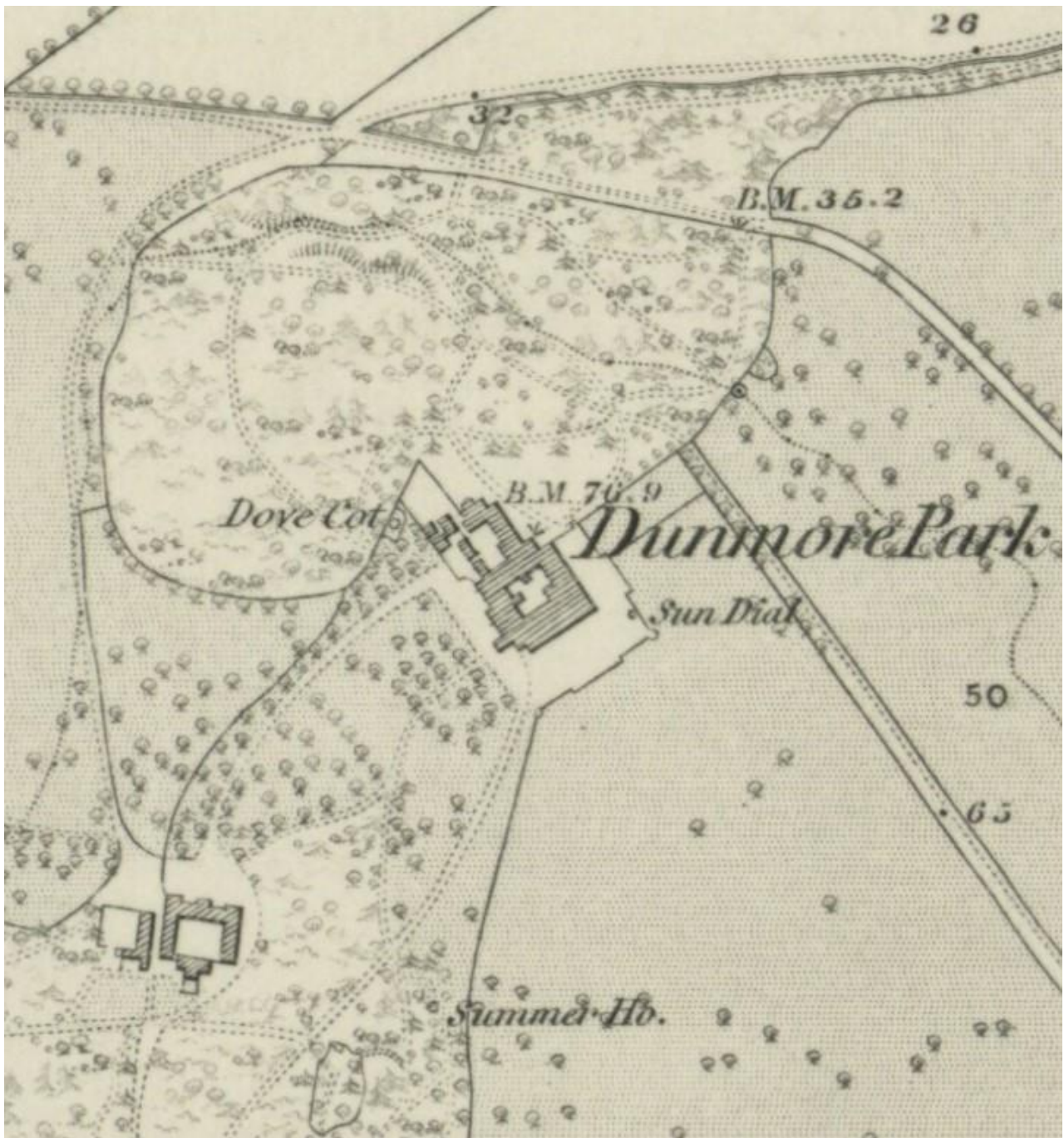


OS First Edition Map extract – walled garden

The estates walled garden is indicated in two sections. The larger western section includes The Pineapple centrally located on the north wall, flanked on either side by hot-houses or glasshouse. The cartography indicates that the garden was divided into productive plots, with a central grass lawn aligned on The Pineapple, with two ornamental ponds in the southern portion. The map confirms the presence of a Sun Dial. The eastern section of the walled garden contains trees in a grid, to represent an orchard. The cartography indicates the upper portion laid out as productive beds.

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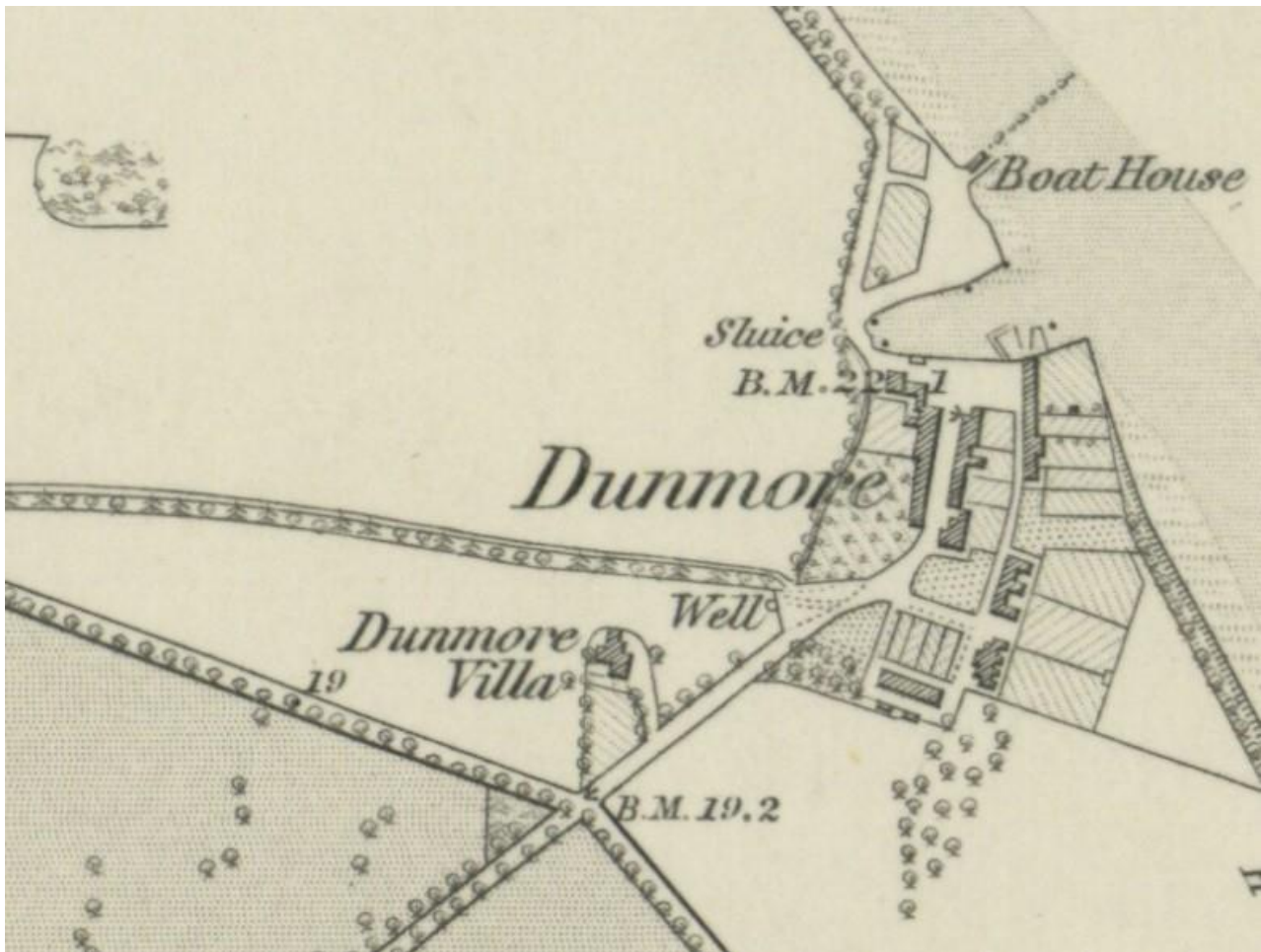


The OS First Edition Map surveyed 1860 indicates the enclosed woodland with an internal path network to the north of Dunmore Park. The presence of a Benchmark (B.M.35.2) on St. Andrews Drive would suggest a masonry feature upon which the permanent Benchmark was carved into. Either a gate post or masonry structure, such as a low-level wall. A Dove cot is located immediately to the NW of the outbuildings to the mansion house. The enclosed field to the front of the mansion house is planted up with approximately 90 trees. The mansion house is approached from the south, which suggests that the East Drive was the preferred access to the house at this time. Having dropped the family at the Porte Cochere, the carriage would continue to the Stables in an anti-clockwise direction. The plan reveals the extent of the terrace to the south and east of the house. A Sun Dial is located on the Terrace. The strong linear alignment of St.

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Andrew's Chapel path is evident. The map records a Summer House located to the east of the approach drive. As well as an enclosure to the south west of the Summer House.



The OS First Edition Map surveyed 1860 reveals Dunmore village at that time. The harbour inlet includes jetties, and the sluice is labelled. A Boat House is located to the north of the harbour, as is the causeway projecting into the Forth. Dunmore Villa is located to the north of the entrance road.

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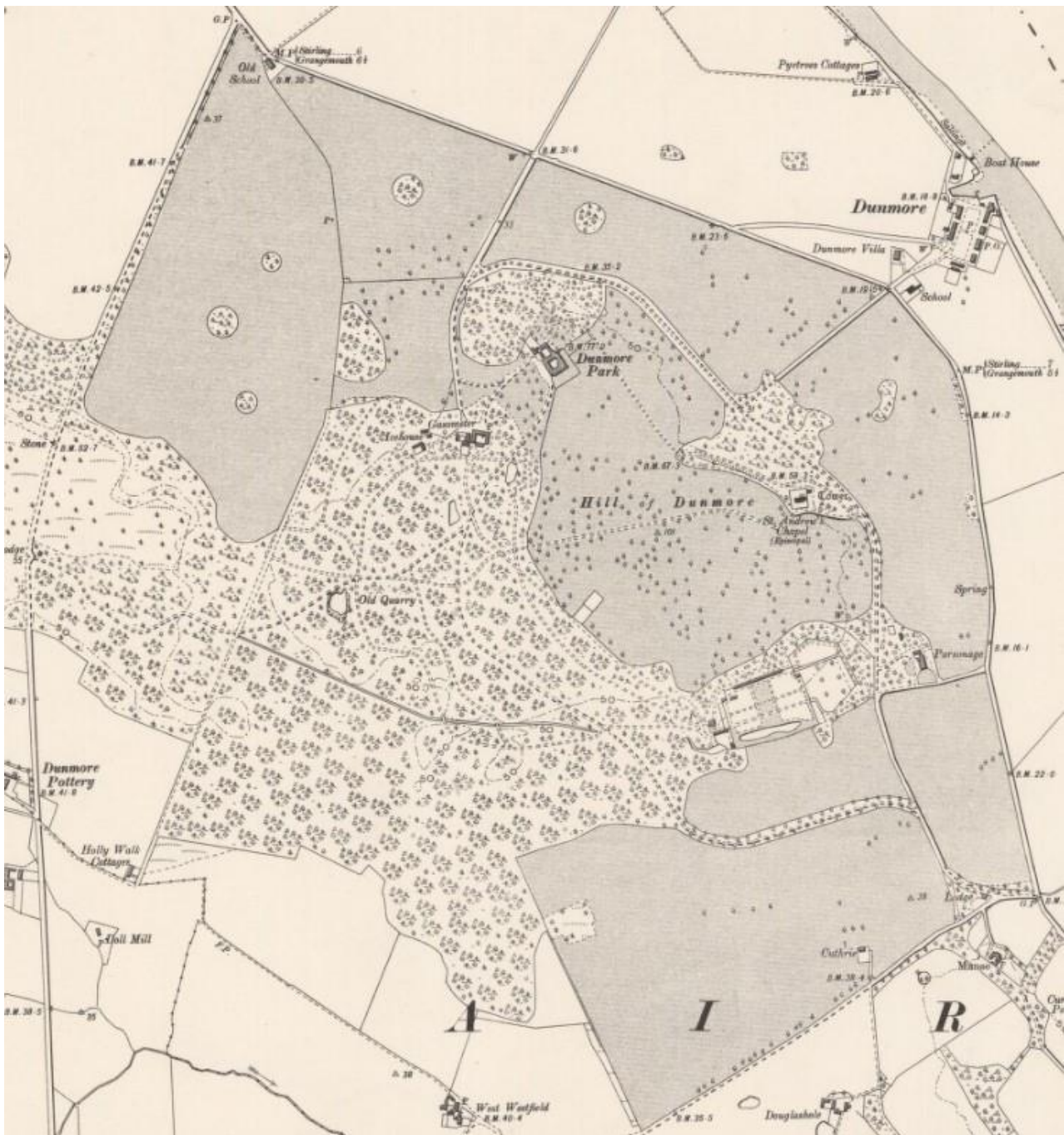


Fig 11. OS Second Edition Map Series Sheet XVIII revised 1895 published 1899

The extent of the estate policies laid out around Dunmore Park Mansion House constructed c.1820 have increased when compared with the OS First Edition of 1860. The estate policies extend further to the north, as far as the Stirling Road. Further west to the 'new' turnpike road to Letham on which the West Lodge was built. And also, further south, to the Westfield Farm road. The fields to the north and north west were planted with tree roundels, literally trees planted in a circle, which were often enclosed by a metal estate strap fence. The purpose of these roundels was both aesthetic and functional. They broke up an expanse of otherwise open ground, whilst providing cover for Game birds. In her book, Alexandra Mitchell proposes that the roundels were planted on the site of former mine entrances.

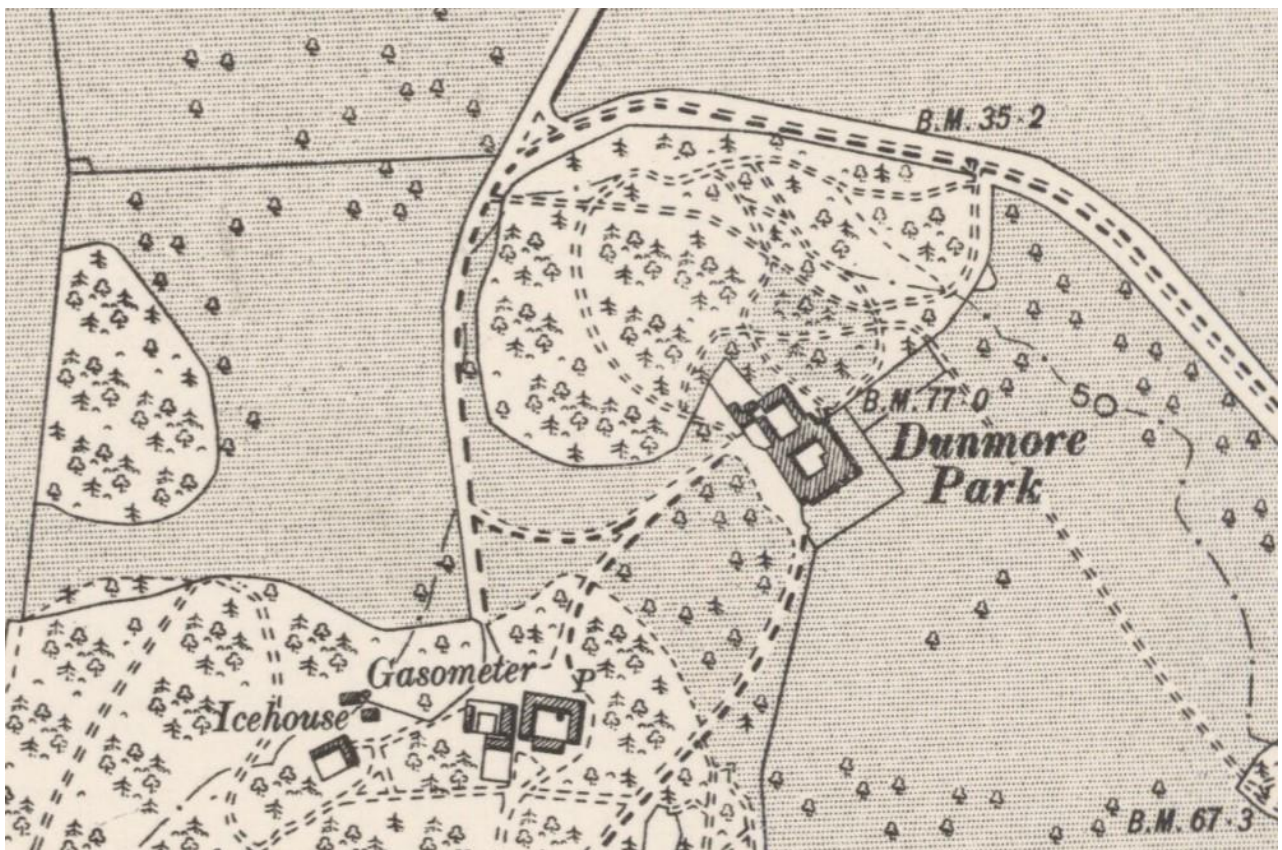
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Fig 12. OS First (left) and Second Edition Map Series side by side comparison

The expansion of the estate policies to the west on land which was formerly Dunmore Moss would have necessitated significant drainage being installed, in order to drain land which would have been saturated, into land which could be planted up with mostly Scots pine trees, and put under cultivation. The linear ditches clearly evident on the OS First Edition Map were rendered redundant in this process of repurposing land use.



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The main changes to the policies immediately surrounding Dunmore Park include. Introduction of drive to the west of Charlotte wood, linking the Stables complex with the newly constructed Home Farm complex. The woodland compartment to the north of St Andrew's Drive has been felled, as have specimen trees generally within the compartments fronting the mansion house. A drive has been introduced to avoid the Stables when departing/arriving to the house.

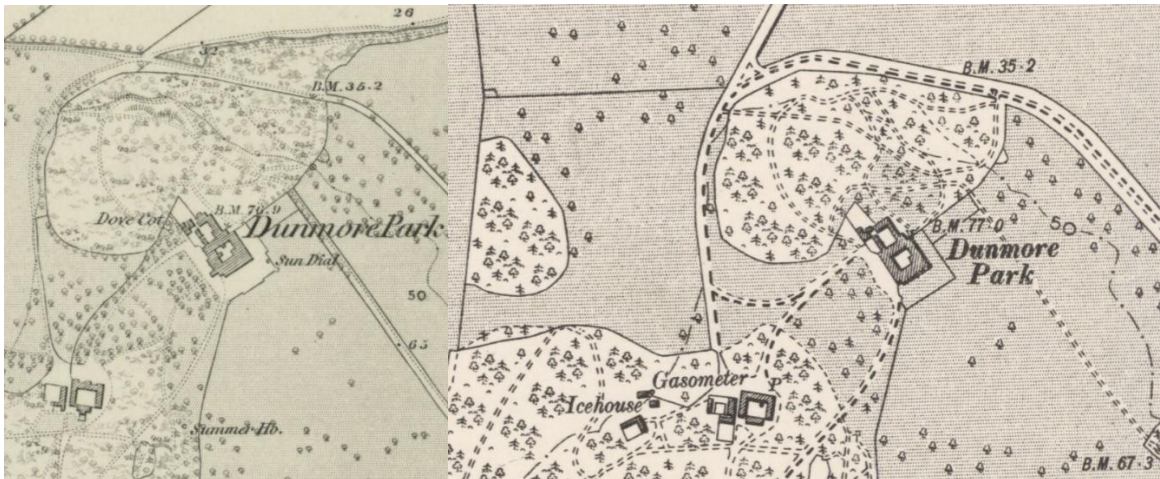


Fig 13. OS First (left) and Second Edition Map Series side by side comparison



Fig 14. OS First (left) and Second Edition Map Series side by side comparison

Comparison of the Walled Garden indicates the introduction of a substantial range of buildings along the north wall. Unfortunately, there is a lack of detail regarding The Pineapple itself. The extent of the orchard appears to have diminished, and the two separate ponds now appear as a single waterbody. The shelterbelts which compartmentalised the fields immediately to the south of the Walled Garden were removed between 1860 and 1899 to form a single field.

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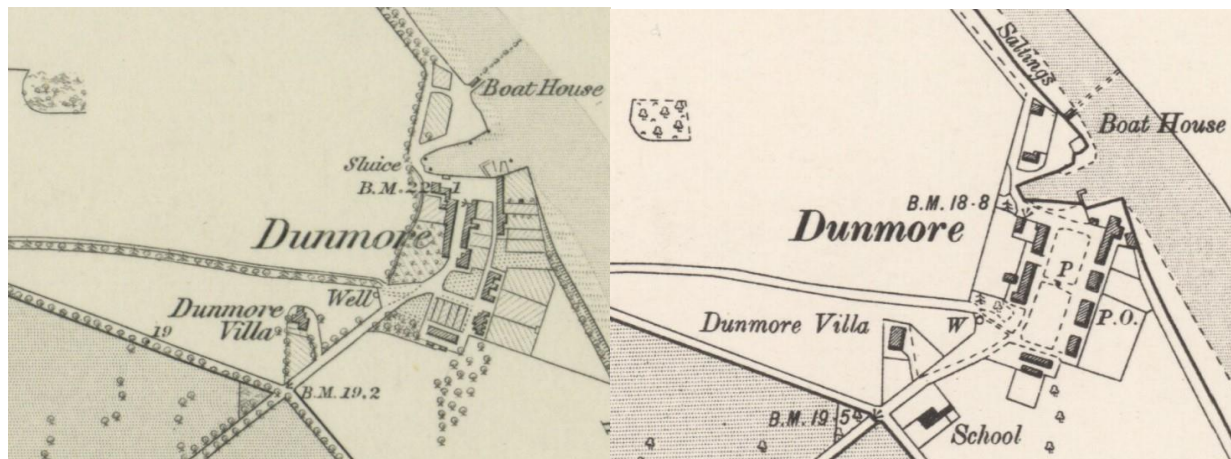


Fig 15. OS First (left) and Second Edition Map Series side by side comparison

The transformation of Dunmore Village is attributed to Catherine Herbert, the 6th Countess of Dunmore. Sandra Mitchell writes about the transformation of Dunmore Village in her book. Therefore, it is not covered here. What is evident from the side by side comparison is the retention of some properties evident on the OS First Edition Map series dated 1860, the demolition of the central spine of dwellings, and the rebuilding and possible remodelling of new and existing buildings. The villages Smithy and School building are examples of new buildings which were constructed as part of the remodelled estate village. The Smithy embellished with its famous Horseshoe shaped doorway, and the School with the cipher of Catherine Herbert. The buildings were constructed around a central village green, divided into two 'greens' with a centrally located cast iron drinking well and ornate canopy.

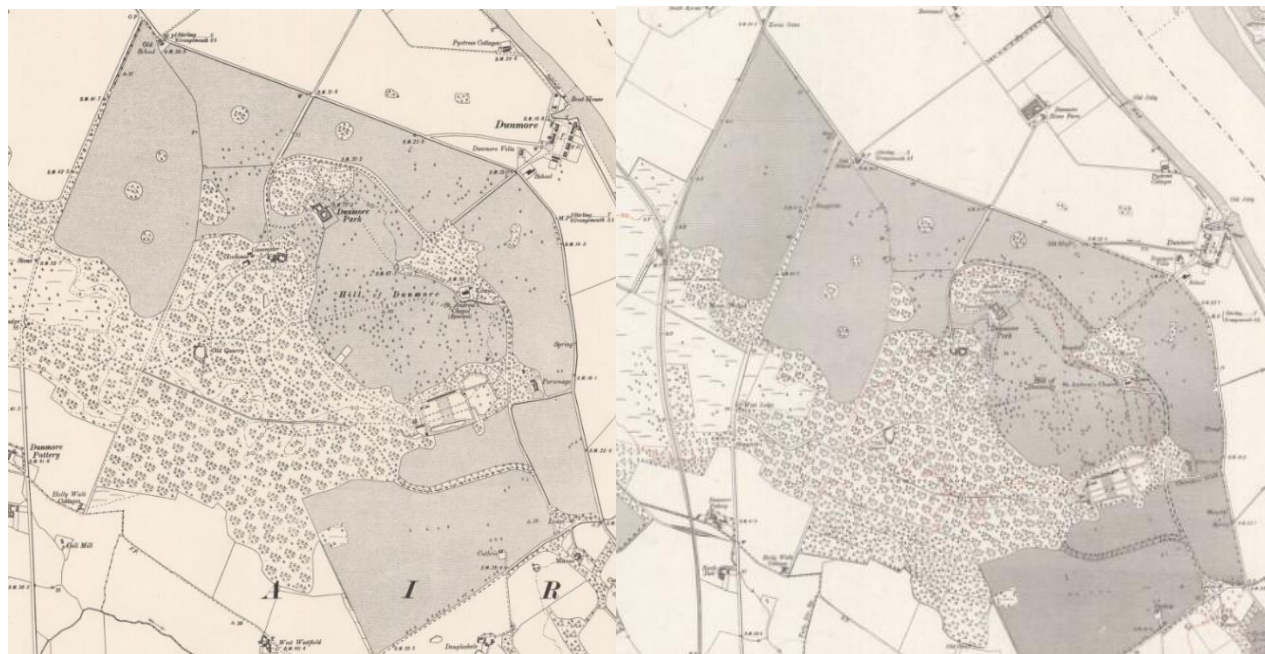


Fig 16. OS Second Edition (left) and OS Third Edition Map Series Sheet XVIII published 1924 side by side comparison

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The extent of the estate policies indicated on the Third Edition Map series published in 1924 indicates further expansion when compared with the Second Edition series dated 1899. The estate policies were extended further to the north and west, between the Letham road and South Alloa Branch line.

Development of the Dunmore Park designed landscape 1924 to date

Comparison of the present-day situation, with the designed landscape as recorded on the OS Third Edition Map Series, represents one of decline and the loss of both built and natural heritage features. Much of which has occurred in recent living memory, during the past 50 years since 1970.

The following built heritage features have either been removed, or are in ruin:

- Dunmore Park mansion house (ruin).
- Dove Cot and outbuildings to NE of Dunmore Park (lost).
- Sun Dial to SE of house links into Ha-Ha enclosing inner policies (lost/poor condition).
- Icehouse, Gasometer and buildings to W of Stables complex (lost).
- Dunmore Park Stables complex to SW of Dunmore Park (poor condition).
- St. Andrews Chapel and graveyard (lost/poor condition).
- Elphinstone Tower (advanced ruinous condition).
- West Lodge on Moss Road (lost).
- Dunmore Park terrace Inc. Sun Dial (walls removed and re-built around single storey dwelling).
- Summer House (lost – last seen in 1980's by Geoff Bailey).
- Glasshouses within walled garden (lost).
- Metal strap estate fences generally (removed by agricultural activity).
- Low level masonry Ha-Ha retaining walls generally (poor condition).
- Dunmore Pottery (lost).
- Club's Tomb to east of Pow bridge (poor condition).
- Cuthrie (lost).
- Doll Mill (lost).
- Holly Walk Cottages (lost).
- A short length of St. Andrew's Drive adjacent to The Parsonage (overgrown but extant).
- Footpath link between St. Andrew's Chapel and Dunmore Park mansion house (lost to agricultural activity).
- Drive link between St. Andrew's Chapel and estate policy woodland crossing Hill of Dunmore (lost to agricultural activity).

The following natural heritage features have been removed by agricultural activity:

- Approx. 300 no. individual parkland trees within the Hill of Dunmore inner policies.
- Approx. 30 no. individual parkland trees to the front of Dunmore Park.
- Approx. 80 no. individual parkland trees within field enclosures.
- 2 no. tree roundels.
- A small pocket of woodland policies to the north of St. Andrews Drive, adjacent to Elphinstone Tower wood.
- A significant portion of estate policy woodland within the core of the estate, together with stone extraction and earthworks which have left a significant scar on the landscape.
- Small woodland clump immediately to south of walled garden.
- Tree avenue to drive linking East Drive with estate policy woodland.

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- Tree avenue to Moss Road leading from Airth Road as far as Mossneuck.
- Moss Wood.
- Tree belt to Moss Road.
- Tree avenue to turnpike road.

The following chapter records surviving features within the designed landscape, their significance and condition.

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4.0 Historic assets within the Dunmore Park designed landscape

The following represents a short description on the surviving historical assets, their significance and condition. Each asset should be considered as collective assets within the estate policies.

In 1987 the Dunmore estate policies were included on the Inventory of Gardens and Designed Landscapes held by Historic Environment Scotland. The sites entry is recognition that it is of national importance. A site included in the Inventory is assessed for its condition and integrity, as well as its level of importance. Each site is assigned value-based criteria from outstanding value to no value. The following values were assigned to Dunmore Park:

- Work of Art: High
- Historical: Some
- Horticultural, Arboricultural and Silvicultural: None
- Architectural: Outstanding
- Scenic: Some
- Nature Conservation: Little
- Archaeological: not assessed

Dunmore Park

Dunmore Park is a category B listed Mansion House in the Tudor gothic style, design by architect William Wilkins (b.1738 d.1839), built 1820-22. Wilkins completed two Scottish mansion houses, Dalmeny House and Dunmore Park. However, he is best known for his three Cambridge College commissions, Kings (1824-8) Trinity (1823-5) and Corpus Christi (1823-7). He is buried in the Corpus Christie College Chapel.

The front west facing entrance to the Mansion House features a grand porte-cochere which features the families coat of arms, a Lion, heraldic crown and a negro slave in chains. Above the coat of arms, the words FIDELIS IN ADVERSIS which translates as Faith in Adversity. The portico entrance to the Pineapple may have also depicted a kneeling slave.

4th Earl of Dunmore and slavery

The majority of transatlantic trade in the 18th and 19th centuries, up to and after the abolition of slavery, was reliant on slavery. Limited research on the 4th Earl of Dunmore (b. 1730 d. 1809) reveals John Murray, known as Lord Dunmore, was a Scottish peer, and colonial governor in the American colonies and The Bahamas. He was the last royal governor of Virginia. As Virginia's Governor, Dunmore directed a series of campaigns against indigenous native Americans known as Dunmore's War. He is noted for issuing Dunmore's proclamation in 1775 offering freedom to any slave who fought for the Crown against the patriots in the American revolution. Therefore, the depiction of a slave on the Dunmore Coat of Arms may reference the 'freeing' of slaves to fight for the Crown.

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Fig 17. Dunmore Coat of Arms comparison Dunmore Park (left) and The Pineapple (right)



Fig 18. Print from engraving by J.P. Neale of Dunmore Park, Stirlingshire dated 1826

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5th Earl of Dunmore

It was the 5th Earl of Dunmore (b.1762 d.1836) who commissioned the building of the new house to replace Dunmore Tower. The mansion house was drawn in 1826 by J.P. Neale in a view which shows the house raised upon a terrace overlooking the parkland.

The engraving includes the commanding southern elevation, complete with castellations, mullioned bay windows, battlement parapets, and slim chimneys. Dunmore was recorded in 1845 as the chief Scottish seat of the 7th Earl of Dunmore, Charles Adolphus Murray, who was only aged four, but owned some 4,620 acres in Stirlingshire. By 1885 the OS Gazetteer records the mansion standing 'amid splendid gardens and beautifully wooded grounds, containing commanding and delightful views.'

A series of photographs dating from 1955-60 available on the canmore website www.canmore.org.uk reveal the exterior and interior of the mansion house before it fell into ruin.



Fig 19. Principle south façade and terrace dated 1955. Copyright courtesy of HES (Scottish National Building Records)

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Fig 20. Principle south façade and terrace from oblique angle dated 1960. Copyright courtesy of HES (Scottish National Building Records)



Fig 21. West façade including porte-cochere entrance dated 1955. Copyright courtesy of HES (Scottish National Building Records)

The above series of photographs between 1955-60 reveal an ivy-clad house, with the south terrace surmounted by urns. The ground to the west entrance was laid out as a lawn with specimen trees.

In the 1950's accounts record that the house was owned by James Jones, timber merchant, Larbert.

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Later, between 1953 until 1956-61 the house was used as a girl's school, called St. Morays.

The estate was split up some time around 1968, and the mansion house purchased by a farmer. Although there are present day accounts that the gamekeeper occupied rooms in the mansion house, complete with the Pheasants he reared, until the early 1970's.

At some time after 1970 the roof, cast iron work and interior were removed, it is thought for Tax avoidance purposes. The decline of the roofless ruin was so advanced by 1987 that Planning Permission was sought for the house's demolition. The date when the north ranges were demolished is not known.

In 1991 The Scotsman newspaper reports a £25 million scheme for a golf and leisure complex within the estate. The proposals included plans to convert the house into a 180-bed hotel. Later in 1991 Outline Planning Permission was lodged for a leisure and housing development. In 2006 Manor Kingdom Homes applied for permission to develop the house and stables complex.

Dunmore Park Stables

19th century, category B listed, the stables complex is commensurate with the Mansion House, and most likely along with the East Lodge, by the same architect as Dunmore Park, William Watkins. The stables complex comprises a 2-storey block enclosing a courtyard. A wide Tudor-arched entrance is centrally located within the central bay facing the mansion house.

External inspection confirms the stables complex to be in a ruinous condition. The entrance archway is festooned by Ivy. However, there is evidence that the upper storey may have been occupied until quite recently. The courtyard surfaced in granite setts and flag stones set around a central gully is colonised by self-seeded trees. For current condition, please refer to separate report by David Narro Associates.

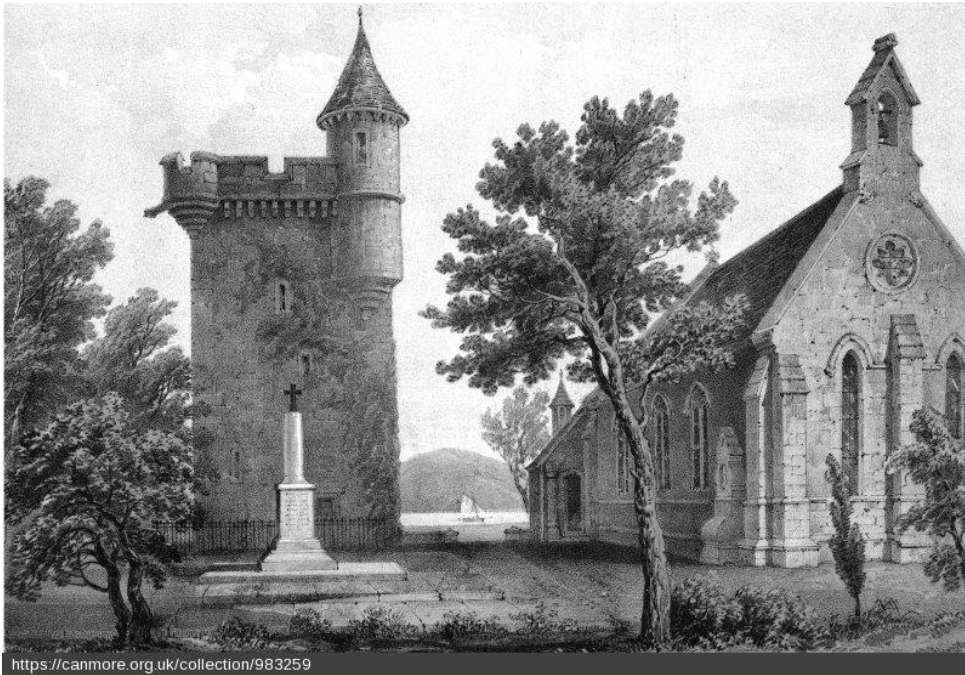
Elphinstone or Dunmore Park Tower

Elphinstone or Dunmore Park Tower, category C(S) listed. Originally built in 1504 by Sir John Elphinstone as a defensive tower house, it was known as Elphinstone Tower and remained the Elphinstone family seat for the next 250 years before the estate was bought by John Murray, 4th Earl of Dunmore in 1754. The names assigned to Elphinstone Tower vary on the various historical maps, and include Elphinsto, Elphinstoun and Elphinston. Elphinstone tower was restored in the 19th century when the vault to the tower was converted into the Dunmore family Mausoleum. The conversion of the defensible tower house into a romantic designed setting occurred during the early 19th century. Around 1850 the tower is depicted in an engraving complete with rounded turret, castellated parapet, distinct corbelled stones and projecting masonry rainwater outlets.

The conversion of the defensive tower house into a folly would have occurred at some time after the completion of the Dunmore Park mansion House in 1822. The adaptation of the tower would have included the planting up of the surrounding woodland with exotic firs, typical during the Victorian period and tastes of the period.

Connected Dunmore

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<https://canmore.org.uk/collection/983259>

Fig 22. Dunmore Park Tower (left) St. Andrew's Chapel (right) and graveyard with sailing boat on Firth of Forth in background circa. 1850. Copyright courtesy of HES (Scottish National Building Records)

Connected Dunmore

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Fig 23. Dunmore Park Tower circa. 1960 (left) and circa. 1975 (right). Copyright courtesy of HES (Scottish National Building Records)

A series of photographs dating from 1958-60 available on the canmore website www.canmore.org.uk reveal the exterior of Dunmore Park Tower before it suffered a partial collapse sometime around 1975.

In 1980 consent was sought to demolish the remainder of the collapsed tower. In 1986 press reports note that several of the graves within the vault have been desecrated. In 1991 The Falkirk Herald reports that a 6ft fence had been erected around the tower ruin and reported that developers were interested in restoring the tower as part of wider leisure development proposals within the Dunmore Park estate. The corner turret along with much of the west elevation collapsed around 1996. Sometime around 1987 remaining coffins were disinterred from the vault and moved to Blair Atholl.

The approach paths and drives leading through the woodland to the Tower evident on the First and Second Edition OS Map series are no longer discernible.

A number of fine broadleaf and exotic firs remain within the pocket of woodland to the NE of the tower. Again, Victorian planting tastes are evident in the *Wellingtonia*, *Sequoiadendron giganteum* and Monkey puzzle, *Araucaria Araucana*. There is a particularly large oak within the lower ground adjacent to the tower.

For current condition, please refer to separate structural report by David Narro Associates.

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St. Andrew's Chapel and Graveyard

St. Andrews Chapel was built around 1845. The Chapel is first recorded on the OS First Edition Map series surveyed 1860. The Chapel can be seen to on the right-hand side of the circa. 1850 engraving. It is assumed that the Chapel was built by the Earl's of Dunmore and would have functioned as the family's place of worship. Whilst the Chapel was located within the confines of the estate, with a direct walk laid out between the mansion house and Chapel, it is assumed that the estate staff attended services at the Episcopal Chapel.

The Chapel was built within a rectangular enclosure, nearby to the Dunmore Park Tower. It is assumed that the Chapel was constructed around the same time as the mansion house, and at the same time as the former Elphinstone Tower was remodelled, circa. 1820. Probably commissioned by Catherine Herbert, the 6th Countess of Dunmore



Fig 24. OS First Edition Map Series Sheet XVIII published 1865 St. Andrew's Chapel extract

A series of photographs dating from 1962 are available on the canmore website www.canmore.org.uk reveal the interior and exterior of the Chapel, together with ornately carved wooden seats. The graveyard was still in use in the 1960's and it is thought that the Chapel was demolished around this time.

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<https://canmore.org.uk/collection/983228>

Fig 25. St. Andrew's Chapel south façade and raised terrace from oblique angle dated 1960. Copyright courtesy of HES (Scottish National Building Records)



<https://canmore.org.uk/collection/1227668>



Fig 26. Dunmore Park Tower 1960 (left) and Chapel interior 1962 (right). Copyright courtesy of HES (Scottish National Building Records)

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Fig 27. Dunmore Park Tower and St. Andrew's Chapel burial ground aerial views 1984. Copyright courtesy of HES (Scottish National Building Records)

The fastigiated Iris Yew trees can be seen in the aerial photographs. These were planted to either side of the entrances located on the east and west boundaries. The Common Yew hedgeline, now overgrown, can be seen on the north boundary.

The Dunmore Park Tower and burial ground features in a short film made by local amateur film makers the Falkirk Cowboys.



Fig 28. Falkirk Cowboys armature film makers still during break in filming

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The Pineapple

The architect of The Pineapple summerhouse located within the estates walled garden is sadly not known. In 1761 a garden pavilion was built into the north wall of the Walled Garden. It is thought that around ten years later, possibly as late as 1777, upon returning to Scotland from duties as Governor of Virginia, that the 4th Earl of Dunmore commissioned the addition of the 8-meter-tall domed summerhouse shaped as a pineapple. The Pineapple is category A listed.

The Pineapple is surely one of Scotland's most bizarre buildings. The Pineapple was designed as a garden retreat. As the centrepiece to a range of hot houses, in which pineapples may well have been grown. Its eccentric shape reflects the 18th-century interest extravagant and exotic fruit and vegetables.

The Palladian porch with 1761 date stone, which features the Dunmore coat of arms, features a door which leads from the walled garden to a pair of flanking staircases which lead to the upper ground floor entrance door to the summerhouse. In his book *Scottish Garden Buildings: From Food to Folly*, author Tim Buxbaum describes the Pineapple as '*undoubtedly the most extraordinary pavilion built in the eighteenth century*' and '*this magnificent piece of eccentricity was built for the twenty-nine-year-old Earl of Dunmore.*'¹

¹Tim Buxbaum, *Scottish Garden Buildings: From Food to Folly*, Edinburgh: Mainstream Publishing, 1989 p.50

A series of architectural drawings were undertaken by Geoffrey Duke Hay in 1960 and are held within the RCAHMS collection.

The dilapidated summerhouse was purchased by the Earl and Countess of Perth in 1971. The Pineapple and walled garden were gifted to the National Trust for Scotland by the Countess of Peth in 1974. Since 1973 the Pineapple has been operated by the Landmark Trust as a holiday let.

The Dictionary of Scottish Architects records practice Stewart Tod & Partners together with David Carr as having restored the Pineapple and repurposed as holiday accommodation between 1972-5. The restoration works were acknowledged with an award from the Saltire Society on 1976. Further interior work was undertaken by The Landmark Trust between 1992-3.

The Palladian porch is accessible to the public and approached through the walled garden. An interpretation board titled The Pineapple is housed within the interior of porch. The interpretation board explains the fascination of the Pineapple, and features a painting depicting King Charles II receiving a pineapple from the king's head gardener John Rose at some time in the late 18th century. The text confirms the first pineapples were grown in Scotland around 1731 and how during the 17th and 18th centuries only the wealthy and well-connected could get their hands on these strange and exotic fruits.

The pineapple became a symbol of wealth, privilege and power. It is thought that upon returning from his duties as Governor of Virginia, that the 4th Earl of Dunmore referenced the tradition he had observed in Virginia whereby sailors would place a pineapple on a gatepost to announce that they had safely returned home. It is said that Lord Dunmore, who was found of a joke, decided to announce his return home more prominently, by building a summerhouse shaped as a pineapple.

In her paper 'A Taste for the Exotic: Pineapple cultivation in Britain', author Johanna Lausen-Higgins, an authority on the history and techniques of pineapple cultivation states '*The most stunning setting for pineapple hothouses was in the kitchen garden at Dunmore, Scotland, the seat of John Murray, Earl of Dunmore.*'² About the structure itself '*To anyone familiar with pineapple varieties it is immediately obvious that the cultivar 'Jamaica Queen' must have been used as the model, a variety with fiercely spiny leaves, outward projecting fruitlets and a perfectly egg-shaped outline tapering more towards the top.*'³ Further '*Although this outstanding work of art survives, the hothouses which would have flanked it have*

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gone; the chimneys for the flues, beautifully disguised as Grecian urns are now the only evidence that this exotic fruit once flourished here'.⁴

Pineapples, along with other soft fruit including peaches were being cultivated in 'hot houses' heated glasshouses as early as the 17th century. Pineapples were grown in Scotland as early as 1731⁵. Historic photographs dated 1917 reveal an extensive range of glasshouses along the north wall. Close examination reveals that the glasshouses extended to the full height of the walls, this explains the regular openings at high level evident today. The glasshouses depicted in 1917 obscured the windows to the gardener's accommodation wings, and due to their sloping form extended rather awkwardly to either side of the Portico.

^{2,3,4} Johanna Lausen-Higgins, *A Taste for the Exotic: Pineapple cultivation in Britain*, www.buildingconservation.com: Cathedral Communications Limited 2019

⁵ The National Trust for Scotland, www.nts.org.uk/visit/places/the-pineapple



Fig 29. Dunmore walled garden, dated 1917. Copyright courtesy of Falkirk Museums and Archives

In order to grow pineapples successfully, three ingredients were required, a supply of manure, Tanner's bark and coal to fuel the furnace, and of course labour to stoke the furnaces. These were undoubtedly all available to the Earl of Dunmore, as the Dunmore estate included a number of coal pits, with Tanneries in nearby Alloa, Clackmannanshire.

When these ingredients were combined in 'pineries' a constant temperature of 25°C-30°C could be sustained for two to three months and a further two if stirred. This technique for growing pineapples remained in use until the end of the 19th century.

In her article 'A Taste for the Exotic' Johanna records the chronology of structures and approaches to growing pineapples in cultivation. She writes about an interesting variant growing technique developed by the mid-18th century was the pinery-vinery, first proposed by Thomas Hitt in 1757. Whereby, vines created a canopy for an understorey of pineapples.

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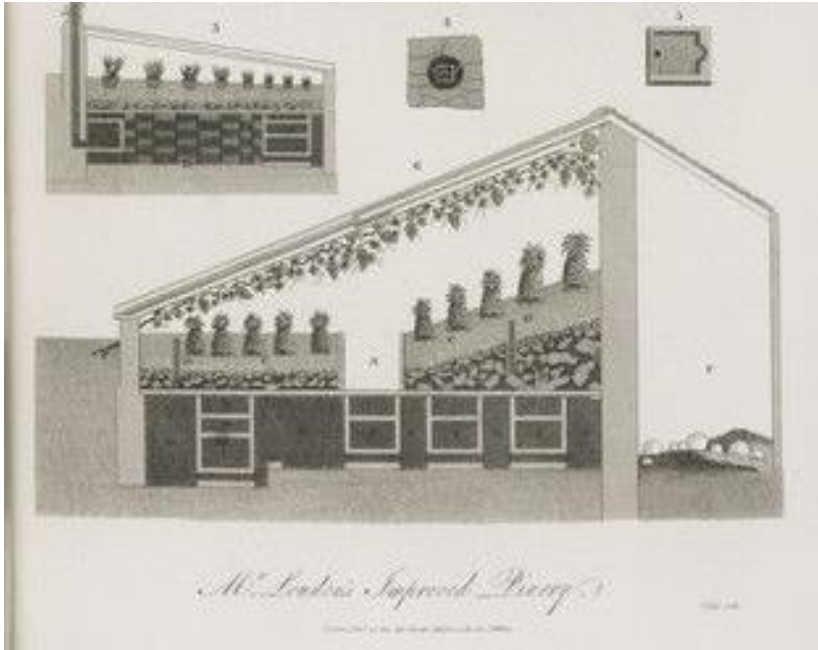


Fig 30. Illustration of hothouse and pinery-vinery from Loudon's *An Encyclopaedia of Gardening*, 1765.

Although difficult to make out in the above reproduced photograph dating from 1917, analysis of the original photograph confirms the presence of vines. Therefore, the pinery-vinery technique may still have been in use at Dunmore at the time.

Connected Dunmore

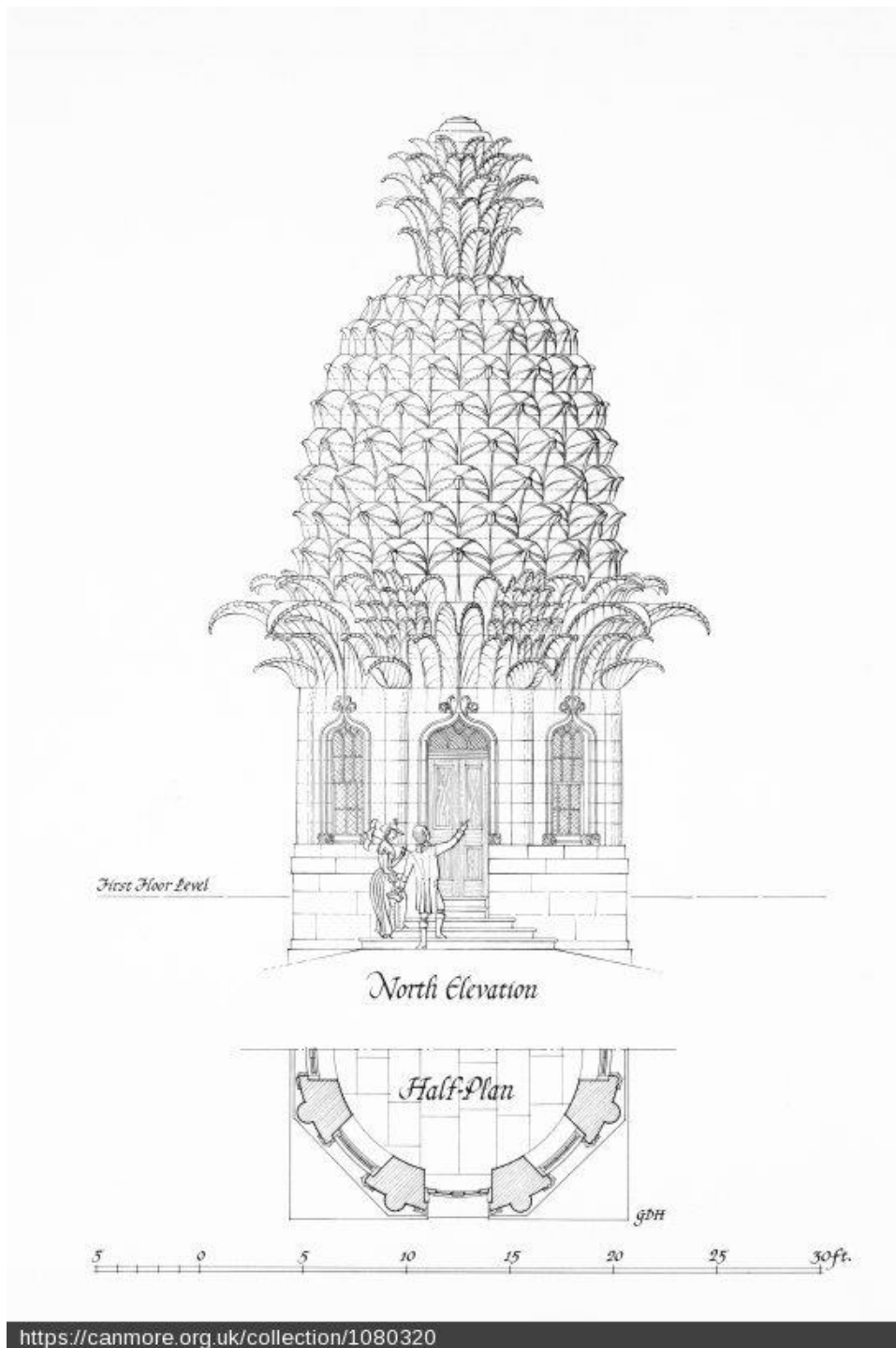
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Fig 31. The Pineapple dated 1960 prior to acquisition and restoration. Copyright courtesy of HES (Scottish National Building Records)

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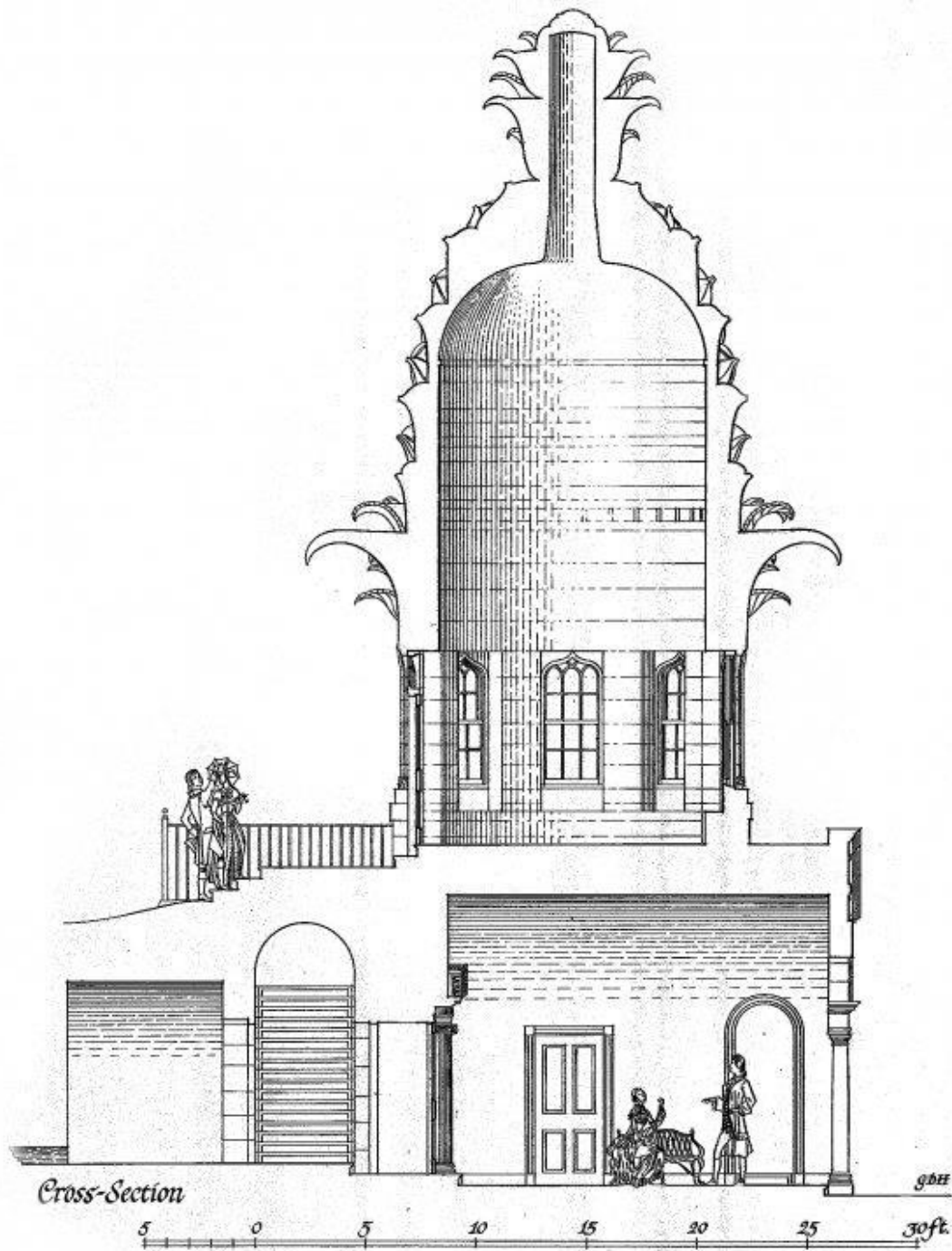


<https://canmore.org.uk/collection/1080320>

Fig 32. The Pineapple by Geoffrey Duke Hay in 1960. Copyright courtesy of HES (Scottish National Building Records)

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<https://canmore.org.uk/collection/712286>

Fig 33. The Pineapple by Geoffrey Duke Hay in 1960. Copyright courtesy of HES (Scottish National Building Records)

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Parsonage

The listing for the Parsonage, describes an early 19th century 2-storey Tudor villa, irregular on plan. An architectural style which echoes the mansion house and houses in nearby Dunmore village.

The Parsonage was accessed from east and west drives leading from the estates East drive and from the Stirling Road.

East Lodge

Also 19th century, listed B, again in a Tudor style was Battlemented parapet, a style commensurate with Dunmore Park mansion house, Dunmore Stables and Parsonage.

The East lodge is situated at the south of the East Drive, adjacent entrance gates which comprise four gate piers and ornamental cast ironwork gates and railings surmounting a low-level masonry wall.

Just beyond the entrance gates, the Common Yew hedge has become overgrown and meets in the middle to form a tunnel through which one passes to enter along the East Drive.

Icehouse

Although not recorded on the OS First or Second Edition Map series, there is an icehouse which is located within a clearing to the south of the former quarry, SW of the stables complex, approximately 25 metres from the estate drive. The entrance to the icehouse comprises a combination of rough-hewn and ashlar masonry. The internal walls are sandstone, with a vaulted roof constructed in brick and sandstone.

This structure would not have been found were it not for the perseverance and assistance of Geoff Bailey, Heritage Engagement Officer, Falkirk Community Trust, who guided me to the icehouse on a bitterly cold day at the beginning of January 2020.

The icehouse comprises a small ground level entrance chamber set within an earth mound, beyond which the larger sunken structure is located. It was within the larger structure that ice harvested during the winter months was stored.

The storage structure consists of sandstone walls with vaulted roof constructed in brick and sandstone. The structure measures approx. 3 metres square, and 5 metres deep. The floors of ice houses included a drain. However, due to the accumulation of vegetation, it was not possible to make out the floor to the icehouse.



Fig 34. Entrance to icehouse

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Fig 35. Barrel vaulted roof to icehouse

The designations of individual buildings, as well as area designations are summarised in the below Table.

Name	Designation	Grade	ID	Ownership
Dunmore Park	Garden and Designed Landscape	N/A	GDL00158	N/A
The Pineapple	Garden and Designed Landscape	N/A	GDL00368	National Trust for Scotland
Dunmore	Conservation Area	N/A	CA545	N/A
The Pineapple	Listed Building	A-Listed	LB2109	National Trust for Scotland
Dunmore Park	Listed Building	B-Listed	LB2093	W. Sutherland
Dunmore Stables and Dovecot	Listed Building	B-Listed	LB2110	W. Sutherland
Elphinstone or Dunmore Tower	Listed Building	C-Listed	LB2111	Dunmore Developments
East Lodge	Listed Building	B-Listed	LB2113	Not known
Parsonage	Listed Building	B-Listed	LB2112	Not known

Buildings are put into one of three listing categories according to their relative importance. The Pineapple has an A-listing. The significance of a category A-listing represents buildings of special architectural or historic interest which are outstanding examples of a particular period, style or building type. Cat B-listing represents major examples. Cat C-listing are representative examples.

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Sense of Place

When combined, the above surviving features provide a tangible sense of place. Therefore, it is possible to convey the story of the development of the designed landscape at Dunmore, by revealing the historic assets and interpreting its constituent parts. This would greatly enhance the visitor experience, marking out particular features and areas as 'special'. These special places which when combined allow visitors to piece together the constituent parts of the designed landscape, are defined as follows.

The Pineapple and walled garden

The starting place for many visitors. Here visitors can appreciate the spectacular summerhouse shaped as a pineapple within the setting of the walled garden. A short walk takes in the pineapple, the walled garden and the pond.

Dunmore Park Tower ruin, site of St. Andrew's Chapel and graveyard

A short walk from the walled garden through mature woodland and along St. Andrew's Drive lined with Giant Redwoods, visitors can appreciate the Elphinstone Tower ruin, the site of St. Andrew's Chapel and graveyard which contains the burial sites of the Earls and Countesses of Dunmore. A short walk along the escarpment to a flight of steps where visitors could experience Dunmore Park ruin.

Dunmore Park ruin and Dunmore Stables complex

Retrace route back to St. Andrew's Drive and continue in an anti-clockwise direction, visitors can follow the estate drive to the Stables complex and Dunmore Park mansion house ruin.

Estate policy woodland

Walk along estate drives and paths through policy woodland returning to the walled garden.

The above features of the designed landscape can be experienced from the existing path network which relates to the historic drives and paths within the designed landscape. There is the potential to improve the condition of paths, introduce additional signage and waymarking to improve navigation, and introduce interpretation and furniture to assist in visitor understanding and enjoyment.

The above aspirations are fully examined in the next chapter.

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5.0 Access and Interpretation Recommendations

Introduction

The study area includes a network of path routes, some of which are Core Paths and are sign posted. Therefore, visitors can already follow the routes and explore the area. However, as the majority of the assets are in private ownership, there is a general lack of signage and no interpretation other than within the walled garden, which is within the custody of the National Trust for Scotland. Therefore, this lack of signage and interpretation means that few visitors would venture beyond the confines of the walled garden to experience the wider designed landscape, myself included.

User data

There is very limited data available about the numbers of people who utilises local walk routes or cycling locally. However, we do know that 9,000 cycling trips passed the Sustrans automatic cycle counter near Fallin, in 2018. Unfortunately, the nearest counter to Airth located at Glensburgh Road on the Skinflats is broken. We have been unable to gather data on numbers of walkers in the area. Inner Forth Futures has carried out qualitative consultation workshops with the local community in the development of their Wanderings and Windings project.

There are a number of existing path routes promoted via the local authority or Inner Forth Futures which include Dunmore Village and /or Dunmore Estate. There are opportunities for integration with these routes at the associated marketing and publicity materials.

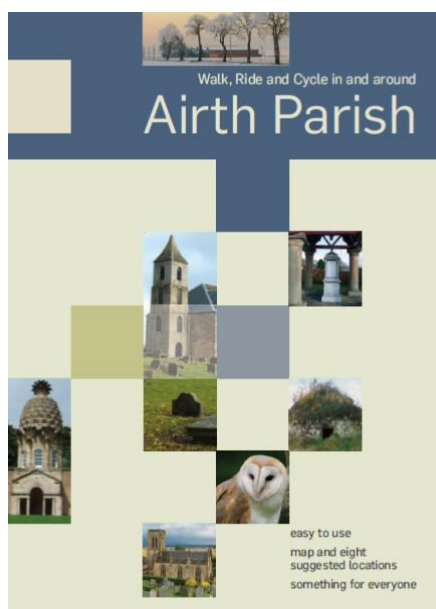


Fig 36. *Walk, Ride and Cycle in and around Airth Parish leaflet published by Falkirk Council, 2010*

Falkirk Council's, now Falkirk Community Trusts Access officer, Lesley Sweeney prepared an excellent guide on short walks titled 'Walk, Ride and Cycle in and around Airth Parish'. The guide to eight short walks includes two walks within the study area. Dunmore Pineapple and Dunmore loop. Dunmore Pineapple is a short circuit of 1.5 miles or 2.3 Km starting at the small carpark to the walled garden. Dunmore village loop is a longer route of 2.8 miles or 4.5 Km which starts at the walled garden progressing

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in an anti-clockwise direction to Dunmore village, Dunmore Home Farm and returns along St. Andrew's Drive to the walled garden.

4. Dunmore Pineapple

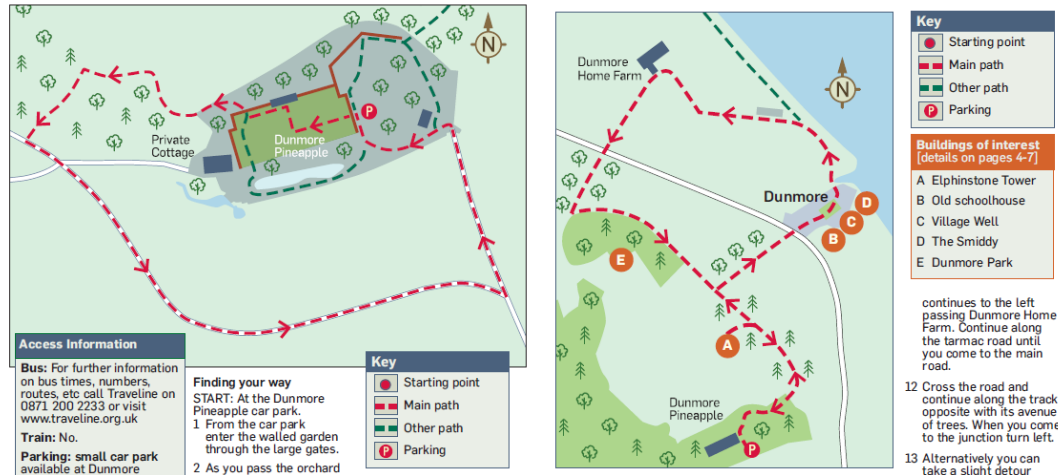


Fig 37. Dunmore Pineapple and Dunmore village walk routes included in Walk, Ride and Cycle in and around Airth Parish leaflet published by Falkirk Council, 2010

The following section examines the existing and potential path network.

Access

Part 1 of the Land Reform (Scotland) Act 2003, which came into effect in February 2005, introduced a right of responsible access to most land and inland water in Scotland. The act also placed a duty of care on local authorities to prepare a Core Paths Plan.

As set out in the forward and introduction to Falkirk Council's Core Path Plan, published 2010, the Core Paths Plan identifies a network of path that gives people reasonable (non-motorised) access throughout the Falkirk Council area.

There are a number of Core Paths within and adjacent to the Dunmore Park designed landscape. These are contained within section 010 Airth of the Council's Core Paths Plan dated 2010 and are summarised in the below Table.

Route ID	Name	Surface	Comments
010/71	Dunmore to South Alloa	Mix of tarmac and unsurfaced	Path from Dunmore starts promisingly on bound and unbound surfaced track which is well signed. Path continues along unsurfaced section along field and along dyke where it soon becomes unnavigable due to uneven surface. Path runs alongside mudflats and affords long views to Alloa and Clackmannan Tower across Firth of Forth backed by the Ochil Hills.

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010/77	Dunmore Home Farm	Mix of Tarmac, concrete and gravel	Path from Dunmore starts promisingly on bound and unbound surfaced track. Path passes Pyetrees Cottages where surface changes to cast-insitu concrete farm track. Route passed Dunmore Home Farm complex dissecting large monotonous arable fields. Path links into route 010/96 'The Pineapple to Elphinstone Tower' at A905 road crossing.
010/96	The Pineapple to Elphinstone Tower	Mix of unsurfaced, gravel and setts	Path continues from route 010/77 at A905 road crossing along former estate drive lined with mature Lime trees. The Lime tree avenue provides a pleasing vista back to Dunmore Home Farm. Long views to Wallace Monument and Stirling Castle. Path follows historic St. Andrew's Drive adjacent to Mount Charlotte policy woodland, along mixed Oak and Lime tree avenue to signed junction with route 010/122 'Dunmore to Church Wood'. Path continues along St. Andrew's Drive passing below Elphinstone Tower set within policy woodland. Path continues along St. Andrew's Drive beneath majestic Giant Redwood avenue. Long views open up towards Clackmannan bridge crossings and Longannet Power Station. Route leaves historic St. Andre's Drive adjacent to the Parsonage and follows unsurfaced path through woodland to junction with The Pineapple access drive. Opportunities to access walled garden or continue on historic East Drive towards East Lodge. Opportunities to return to Dunmore Park on route 010/78 or continue to Airth on route 010/85.
010/78	The Pineapple	Unsurfaced	Route follows unbound historic estate drive from East Drive route 010/96 between arable fields before entering Dunmore Park wooded policies. Track soon degenerates to uneven muddy path between

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			encroaching Rhododendron understory.
010/104	The Pineapple	Unsurfaced	Route continues from route 010/78 on unsurfaced path through mature estate policy woodland. Path can be muddy and uneven underfoot, with encroaching Rhododendron understory. However, the encroaching vegetation forms a playful dense tunnel. Route passes majestic Oak tree and groups of Yew trees planted in circles. Route approaches walled garden via. Garden Cottage with unsympathetic boundary. Route enters walled garden through doorway within wall. Badge on waymarked post confirms inclusion on Inner Forth Futures 'Wanderings & Windings' Route 2 'Birding by Bike'.
010/95 & 010/91	The Pineapple	Mix of gravel and unsurfaced	Routes on unsurfaced paths within walled garden starting at carpark. Routes include circuit of pond, with access to dipping platforms and interpretation boards, including the Pineapple.
010/112	North Doll Farm to Westfield Farm 'The Holly Walk'	Mix of Tarmac, gravel and unsurfaced	Route is a continuation of route from neighbouring local authority (Stirling Council) Core Path Ref. 9078Cw/07 linking Cowie via. North Doll Farm, nearby the site of the Dunmore Pottery. The path runs around open field boundaries, which despite of, or perhaps because of the open nature of the landscape can be difficult to follow. Route terminates at Westfield Farm nearby Club's Tomb.
010/122	Dunmore to Church Wood	Gravel	Route links Dunmore village via. A905 with Dunmore Park designed landscape and sites of historical interest including the Pineapple and Elphinstone Tower.

As can be seen on **Plate 1 - Existing Study Area**, the core path network provides access to the majority of historic sites of interest within the study area. However, in addition to the Falkirk Core Paths there are a network of paths which follow historical routes within the designed landscape. These paths provide

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opportunity to create a network of connected, signed and waymarked paths to increase user enjoyment and appreciation of the Dunmore Park designed landscape.

The Land Reform (Scotland) Act prescribes a right of responsible access. Therefore, anyone can already follow the above opportunity routes, as they follow existing estate drives and paths. However, consideration should be given to the occupants of the Dunmore Park Farm dwelling nearby the Stables complex, and that the fields within the estate are under cultivation. Further, the Dunmore Park Tower and Dunmore Park mansion house are in a ruinous condition. Therefore, access around the curtilage or within the structures themselves is not recommended.

The above review of core paths and network of paths has identified the opportunity to introduce a series of ‘themed’ routes to connect the historic assets, enhance visitor experience and promote a sense of place.

The proposal is to supplement the existing walks, Dunmore Pineapple, and Dunmore village ‘loop’ contained in the Airth walks guide published by Falkirk Council, with two further path circuits to take in the wider designed landscape, Dunmore Park and Dunmore Estate.

These opportunities are set out in the table below and illustrated on **Plate 2 - Study Area Proposals**.

Name	Surface	Comments
Dunmore Park	Mix of gravel and unsurfaced	<p>Opportunity to continue route 010/96 along estate drive to Dunmore Stables. Continue along estate drive to connect route 010/104 and return via. Walled garden.</p> <p>Optional short spur to allow visitors to appreciate Dunmore Park mansion house ruin.</p> <p>The central leg of this route between Dunmore Stables and junction with route 010/104 and 010/78 is compromised by felled estate policy woodland and earthworks to expose bedrock.</p> <p>This 3.2Km circuit around Dunmore Park would promote a greater appreciation of the designed landscape and take in the main physical components, The Pineapple, Elphinstone Tower, Dunmore Park and Stables.</p>
Dunmore Estate	Mix of gravel and unsurfaced	<p>Opportunity to connect Dunmore Stables, the estates West Drive, former turnpike/causeway and link into Route 010/112 ‘The Holly Walk’</p>

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		<p>which terminates at Westfield Farm nearby Club's Tomb.</p> <p>Alternatively continue on public road the B9124 to the East Lodge and return to The Pineapple.</p> <p>This 6Km circuit around Dunmore estate would promote a greater appreciation of the designed landscape, setting and take in the main physical components, The Pineapple, Elphinstone Tower, Dunmore Park and Stables, East Lodge.</p> <p>Alternatively, path could follow track around large field boundaries to south of Dougalshill Farm to Airth Mains, Hill of Airth and Arith.</p> <p>Option to extend path to former West Lodge entrance on Dunmore Potteries Road.</p>
<p>Elphinstone Tower and Church Wood</p>	<p>Mix of gravel and unsurfaced</p>	<p>A short spur on former estate drives and paths to access the Elphinstone Tower ruin, graveyard and site of the former St. Andrew's Chapel.</p> <p>Opportunity to continue path along top of escarpment to the pair of sentinel Irish Yew trees at the top of a flight of stairs to appreciate the view towards Dunmore Park ruin.</p>

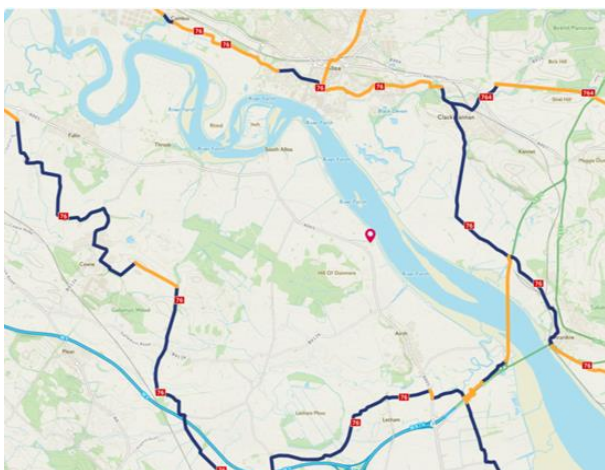


Fig 38. NCR 76 route in the vicinity of Dunmore

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Strategic and National Routes

Major routes such as the John Muir Walkway do not come close to Dunmore. The Fife Coastal Path sets off from Kincardine Bridge just south of Airth and there may be an opportunity to improve the route to Airth and then along the coast to Dunmore. If this could be achieved, then there is potential to approach Fife Coast & Countryside Trust to seek their involvement in promotion of the spur.

The National Cycle Route 76: Round the Forth runs from Berwick-upon-Tweed to Edinburgh, Stirling and Kirkcaldy, travelling along both sides of the Forth. It passes through Letham to the South of Airth briefly travelling on the A905. The NCR 76 route has an estimated 9,000 users per annum.

Sustrans has no plans to extend or alter Route 76 at present and if they were to do so it would most likely be to move it closer to major conurbations, and therefore away from Dunmore. There are no intentions for this at present. Sustrans would be happy for the community to pursue the proposals to encourage more cycling routes around the local area but they are most likely to appeal to local, leisure cyclists. There is Sustrans funding available to support this type of community action.

Sustrans has worked with VisitScotland to develop a web-based guide to routes of the Caledonia Way. These routes are not part of the main route but opportunities to explore the local area adjacent to it. The website (<https://www.visitscotland.com/see-do/active/cycling/national-routes/map/#/the-caledonia-way>) shows the kinds of shorter routes included (search for day trips). Sustrans is considering developing similar micro-sites for other national routes and Round the Forth (Route 76) would be a likely contender for being next.

Inner Forth Futures (IFF) formerly Inner Forth Landscape Initiative (IFLI) undertook the Wanderings & Windings project in 2019 to research and promote 9 day-long waymarked trails to encourage walkers and cyclists to explore wildlife and history locally. They use existing paths and tracks to encourage local people and visitors to the area to explore the landscape and discover some of the many hidden gems to be found around the Inner Forth.

It was felt that by identifying, explaining and linking other widely dispersed and more local heritage features throughout the landscape would connect a network of local communities and visitors to less well known and under-appreciated assets. Therefore, the IFWW project was designed to bring this heritage to new audiences, enabling wider and deeper engagement and fostering a sense of pride in this place and its dynamic nature. The IFWW paths numbers 2 and 9 cross the Dunmore estate.

<https://www.innerforthlandscape.co.uk/about/wanderings-windings>

Route 2: 'Birding by Bike' and Route 9: Straviag the Forth passes through the Dunmore Estate which forms part of a 35-mile, 57 Km circular route which includes Stirling/ Fallin/ Cowie/ Dunmore Pineapple/ Airth/ Higgins Neuk/ Kincardine Bridge/ Clackmannan/ Alloa. The route includes short legs to nature reserves including Wester Moss, a Butterfly Conservation Scotland Nature reserve at Fallin bing, RSPB Skinflats and Black Devon Wetlands nature reserves. Which gives the route its name 'Birding by Bike'.

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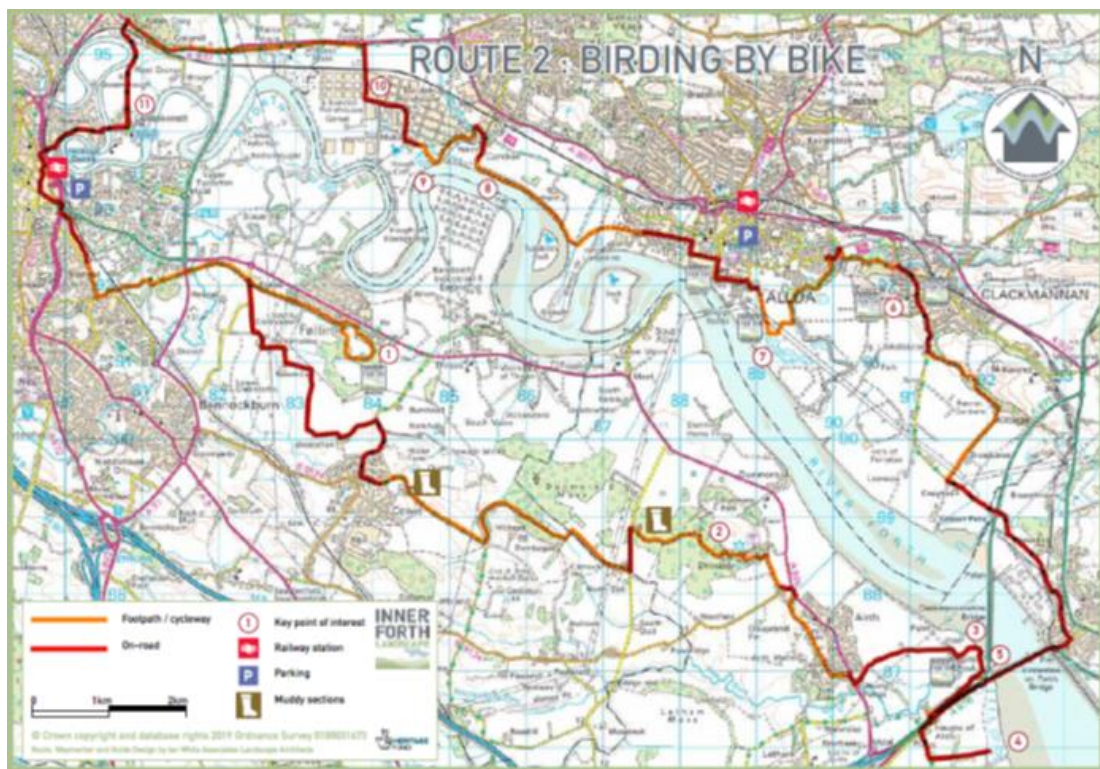


Fig 39. IFF Wanderings and Windings Route 2: Birding by Bike

The route combines on road and off-road sections. The section of the route which includes Dunmore estate, approaches from the west on the neighbouring local authority (Stirling Council) Core Path Ref. 9078Cw/07 linking Cowie via North Doll Farm, nearby the site of the Dunmore Pottery, heads north on a short section of Moss Road, turns right into the Dunmore estate along the West Drive at the former site of the West Lodge. The route continues along the West Drive, turns right at the heart of the estate, taking the South Drive approach and turning left on Core Path Ref. 010/104 (muddy sections) leading through estate policy woodlands to the walled garden. The route follows the East Drive approach to the East Lodge, turns left on the B road, a short section on the A905, then first right to join Core Path Ref. 010/85 Gamekeepers Cottage to Airth Castle Hotel, before re-joining the A905 south of Airth. After a short section of the A905 turns left on the single-track road towards Higgins Neuk.

The Wanderings & Windings route links with sustrans Nation Cycle Route 76 (NCR 76) at Higgins Neuk near Clackmannan bridge. Therefore the 'Birding by Bike' route offers an off-road leisurely version of the NCR 76 Stirling loop.

The 'Birding by Bike' route includes two short lengths on the A905 to the north and south of Airth, together with a short length of Moss Road. It is these on-road sections which are potentially barriers to access to users and would benefit from prioritising cyclists.

Interpretation

The National Trust for Scotland owned, and managed Pineapple together with the walled garden and Dunmore village benefit from interpretation boards.

Existing interpretation at the walled garden includes a 'Welcome to the Pineapple' board mounted on the wall at the car park, prepared by the National Trust for Scotland to welcome visitors to the Pineapple. The board includes text on brief history of the Pineapple, its restoration and ownership, together with a plan demarcating walk routes around Dunmore Pineapple 'Woodland Walk' and Elphinstone Tower.

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A second interpretation panel is located within the portico to the Pineapple, titled ‘The Pineapple’ again prepared by the National Trust for Scotland. The text records the exotic nature of the Pineapple and its influence on architecture, and the growing of pineapples in heated glasshouses known as pinery. The panel reproduces an oil painting of the king’s gardener John Rose presenting Charles II with a pineapple, supposedly the first grown in England, at Dorney Court in Berkshire.



Fig 40. John Rose presenting Charles II with a pineapple, painting by Hendrick Danckerts

A third interpretation panel titled ‘Newts at the Pineapple’ features drawings of newts by local Airth Primary School P5 pupils following a community engagement project between NTS, Falkirk Environmental Trust and Scottish Natural Heritage.

Currently no interpretation is provided within the wider Dunmore Park estate. Therefore, the opportunity presents to assist visitors understanding of the heritage assets, as most are easily accessible or visible from the core path and estate path network.

Further there is no interpretation of the natural heritage features, or man’s influence on the landscape.

Therefore, opportunities to interpret built, natural and man-made assets within the estate are listed in the below table and illustrated on **Plate 2 - Study Area Proposals**.

Location	Subject	Interpretation opportunities
St. Andrew’s Drive	Man’s influence on the landscape	Introduction to the Dunmore Park designed landscape
Core Path Ref. 010/96		Estate tree planting – Victorian planting taste which left the legacy of the tree lined avenue to St.

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		Andrew's Drive planted up with Wellingtonia Land reclamation
Elphinstone Tower, site of St. Andrew's Chapel and graveyard	Built heritage	Elphinstone Tower 'lost' St. Andrew's Chapel Successive burial tombs to the Earls and Countesses of Dunmore
Dunmore Park	Built heritage	Dunmore Park mansion house
Dunmore Stables	Built heritage	Dunmore Stables and 'lost' and surviving Ice Houses
Site of Dunmore Pottery Core Path Ref. 010/112	Industry	The former Dunmore Pottery complex, Royal patronage and examples of Dunmore pottery
Club's Tomb	Built Heritage	Club's Tomb Private burial grounds
Policy woodland Core Path Ref. 010/104	Man's influence on the landscape and natural environment	Estate tree planting – notably the large Oak tree adjacent to the path Natural environment

Waymarking and orientation

Existing signage consists of a combination of wooden and metal finger post signs, and timber waymarker posts. Refer to **Plate 1 - Existing Study Area**.

The wooden finger post signs and waymarker posts are concentrated around the walled garden and Dunmore village.

The metal finger post signs are located; at the junction of Core Path routes Ref. 010/96 and 010/122 signed 'Dunmore Pineapple and 'Dunmore Village'; on Core Path Ref. 010/122 at the A905 signed 'Public Right of Way to "The Banks" River Forth' and 'Public Path to The Pineapple'; at the junction of Core Path routes Ref.010/77 and 010/71 signed 'South Alloa' and 'Dunmore Village'; on the Core Path Ref. 010/96; and Core Path Ref.010/112 at Westfield Farm signed 'Public Footpath to the Potteries 1.2Km "The Holly Walk"' and at the former site of Dunmore Pottery signed ' Public Footpath to Airth Road 1.2Km "The Holly Walk"'.

Only two waymarker posts have been located within the study area, on the path approach to the walled garden on Core Path Ref. 010/104 and on the South Alloa Core Path Ref. 010/71.

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Therefore, the opportunity exists to greatly improve visitor's ability to orientate themselves and follow existing and proposed path circuits. The locations for waymarker posts are indicated on **Plate 2 - Study Area Proposals**.

Here the recommendation is to install colour coded timber waymarker posts, at regular 250-meter intervals and after path forks, to install confidence in visitors and regular path users alike.

In keeping with the tradition which the 4th Earl of Dunmore observed when Governor of Virginia, whereby sailors would place a pineapple on a gatepost to announce their safe returned home, it is proposed that all waymarker posts are topped with wooden carving of a pineapple. The use of the pineapple as a recurring symbol within the Dunmore estate to celebrate the extraordinary summerhouse dating from 1761 which survives as the focal point of the walled garden.

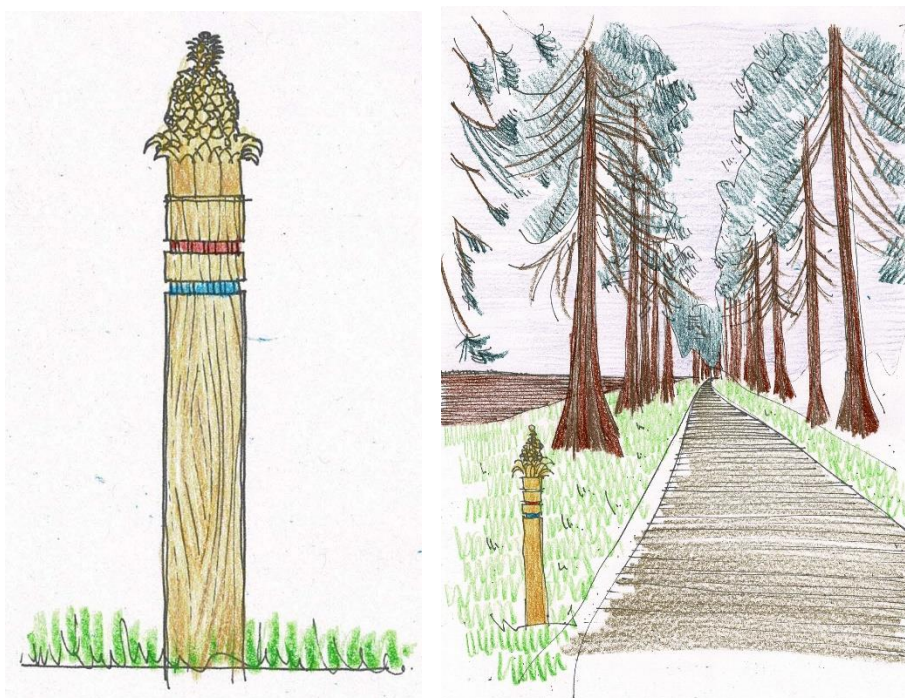


Fig 41. Proposed way marker post (left) located on St. Andrew's Drive (right)

Car Parking

The existing car park is situated to the south of the vehicular entrance into the walled garden. The car park comprises an unbound surface, located amongst Scots pine trees and separated from the drive by a low-level masonry wall. The existing parking provision is no more than 7-8 vehicles.

The unbound nature of the surface is a result of the location below mature trees. Each vehicle places loading upon the trees root plates, which compacts the ground and compromises the long-term health of the trees. It would not be possible to alter the surface as this would necessitate reducing or raising the existing levels, which would result in tree removal. Further, the car park does not conform with recognised vehicle turning movements.

Whilst no visitor surveys were undertaken, local knowledge would suggest the existing car parking provision is inadequate. Therefore, as part of the feasibility study, proposals have been prepared for a replacement car park.

Proposals have been drawn up for a replacement car park located within the 'lesser' walled garden. The proposed car park is situated within an existing woodland block and will require significant tree removal.

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This location has been arrived at as it can accommodate a car park of a suitable size, which is designed to meet vehicle turning movements, and is situated nearby to the Pineapple. Importantly the proposed location benefits from screening locally by retained trees. Further, the location is screened by the walls to the walled gardens and is located to the north of the east west axial route through the walled garden. Therefore, the proposed location cannot be seen from or on the approach to the A-Listed Pineapple.

The access road into the car park is a continuation of an existing drive to access the Walled Garden and Garden Cottage. The proposed aisle surface is an unbound gravel contained within stabilised honeycomb trays, whilst the parking bays are soiled and seeded with grass. The above surfaces are permeable which has the advantage of not requiring a positive drainage solution.

The proposed car park can accommodate 40 vehicles. This provision is deemed to be more than adequate to accommodate peak daily visitors. It is hoped that an increased car parking provision would enable the owners of the walled garden, the National Trust for Scotland to expand its visitor offer and cater for medium sized events to be held within the walled garden.

The proposed car park is located within the Dunmore Park garden and designed landscape designation, and adjacent to the Pineapple garden and designed landscape boundary. Therefore, early engagement with the landowner, the National Trust for Scotland, statutory consultee Historic Environment Scotland, in addition to Falkirk Council Planning and Building team is recommended.

The former car park could be repurposed for cycle parking and accommodate furniture including picnic benches, orientation, and visitor information.

Associated facilities

Stakeholders have sighted the lack of toilet and refreshment facilities as the main reason why visitors do not extend their stay time at The Pineapple. Therefore, consideration should be given to on-site toilet provision. The most suitable location would be at the proposed car park within the lesser walled garden. On site catering or refreshments would most likely only be required to coincide with a major event taking place on site. Therefore, this could be served by mobile catering facilities.

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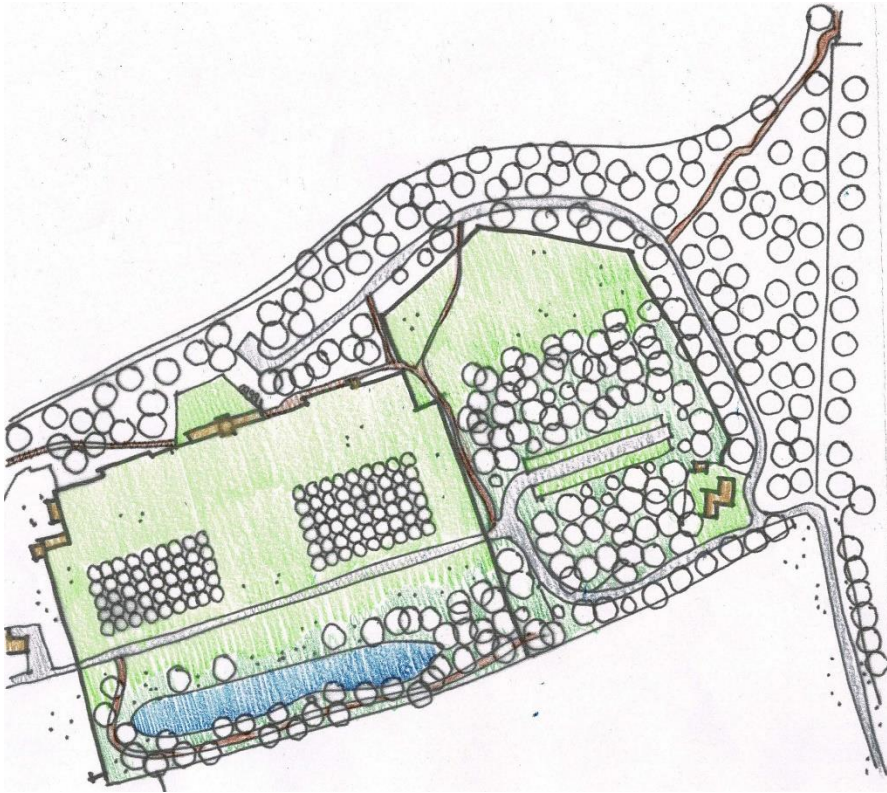


Fig 42. Proposed car park within context of the walled gardens and approach drive



Fig 43. Proposed car park located in 'lesser' walled garden

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Fig 44. Proposed car park and immediate context

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6.0 Management Issues and Recommendations

Introduction

This chapter seeks to summarise the key issues facing the Dunmore Park estate and identify its vulnerabilities and to understand how these might affect the significance of the place and, or specific components. Identifying management issues and vulnerabilities of historic and natural assets within the Dunmore Park estate landscape. The management issues and vulnerabilities are followed by outline recommendations to arrest the decline and reveal the historic assets.

Except for The Pineapple and walled garden complex, the other heritage assets are in an extremely poor condition or in fair condition structurally. This is in part due to their being in private ownership. However, failure to find a new use or change of use for these assets has also resulted in their continuing decline and neglect.

A walk over structural report prepared by Structural and Civil Engineers David Narro Associates for Dunmore Park, Dunmore Stables and Elphinstone Tower is available in **Appendix I**.

Buildings and Structures

Dunmore Park

External inspection confirms the mansion house to be in a ruinous condition, with all rooms stripped of their interiors to reveal the masonry structure and cast-iron beams supporting the upper storeys. The interior and exterior terraces have been colonised by self-seeded trees. Access to the site has not been sufficiently managed and there has been robbing of perimeter flag stones, graffiti and defacing of the family coat of arms. The roof was removed sometime around 1972 along with partial demolition of the northern section of the mansion. The mansion house is listed on Buildings at Risk Register with risk category: moderate.

As noted in the Structural Report prepared by David Narro Associates (DNA) the house is deemed unsafe for public access, mainly due to the lack of protection from drops. Proposals for providing safe access depend on the available funding and aspirations. Possible options include:

- Minimal works – provide barriers around the mansion house to stop the general public from access. No works to be carried to the mansion and the condition will slowly continue to deteriorate.
- Necessary works – remove the plant growth and carry out consolidation works to the unstable portions of masonry. The wallheads to be inspected and protected as required, e.g. with coping stones. Balustrades to be provided where changes in level occur or floors are missing to prevent falls from height.
- Advanced works – Consider reinstatement of floors and roofs.

The immediate setting to the mansion house would be greatly improved by the removal of self-seeded trees. In particular, trees which have become established on the terrace. The removal of self-seeded trees would reinstate the scale of the mansion house within wider landscape setting, notably when viewed from the pair of Irish Yew sentinels on the Chapel path.

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Fig 45. View towards south elevation of Dunmore Park



Fig 46. Terrace to Dunmore Park

Dunmore Park Stables

External inspection confirms the Stables complex is in fair condition from the structural point of view. The masonry generally appeared to be in good condition. However, some local deterioration and water ingress were observed locally. Timber joists and roof rafters have decayed significantly and collapsed locally. The stables block is listed on Buildings at Risk Register in very poor condition with risk category: high.

As noted in the structural report, the Stables are deemed unsafe for public access, mainly due to the poor condition of timber floors and unknown condition of the roofs. As previously, the possible options include:

- Minimal works – provide barriers around the stables to stop the general public from access. No works to be carried out to the stables and the overall state of disrepair will continue to worsen.
- Necessary works – remove the plant growth and carry out consolidation works to the unstable portions of masonry. Timber survey to be carried out to assess the extent of decay. Where

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required the decayed timber to be removed at first floor level. Roof rafters to be repaired as required to maintain the roof and prevent future water ingress.

- Advanced works – As above, but timber repairs to be carried out to the first floor as well so that access can be provided.

The stables courtyard would be greatly improved by the removal of self-seeded trees and exposing the centrally located gully would improve drainage locally.

Elphinstone or Dunmore Park Tower

The former tower house is in a perilous state. The Tower is listed on Buildings at Risk Register and its condition described as 'in imminent danger of total collapse'. Therefore, the structure represents a significant threat to the safety of the public. Only the eastern portion of the tower survives with the remnants of the collapsed masonry lying around. The top section of the remaining walls appears unstable and at risk of collapse. Large areas of tumbled masonry and the generally overgrown, litter-strewn nature of the site further detracts from the setting of the tower.

Access to the site has not been sufficiently managed and detrimental use has not been policed, allowing significant damage to occur, including the robbing of bodies entombed within the vault. The tower is at a critical stage where its decline can be arrested and its structure stabilised, however any such measures must be accompanied by more concerted and responsible management.

As noted in the Structural Report prepared by DNA, the Tower is currently deemed unsafe for public access. The proposals for providing safe access will largely depend on the available funding and aspirations. A range of approaches is possible and includes:

- Minimal works – provide barriers around the tower to stop the general public from access. No works to be carried to the tower and the state of disrepair will continue with likely complete collapse in the near future.
- Necessary works – remove the plant growth and carry out consolidation works to the unstable portions of masonry. The wallheads to be protected with turf toppings. First floor barrel vault to be cleared of the vegetation and waterproofed (potentially with puddle clay) to stop future water ingress. Washed out joints to be locally repointed.
- Advanced works – works as above. Additionally, a steel frame could be erected to stabilise the remaining masonry and provide safe access for the public to the higher levels of the structure.

There is a requirement to bring the adjacent Church Wood into positive management.

Management recommendations include:

- Prepare a woodland management plan to perpetuate health and condition of mature broadleaf trees and Victorian tree plantings.
- Remove all invasive and self-seeded tree species.
- Thin vegetation to maintain views to the Tower from St. Andrew's Drive.

St. Andrew's Chapel and graveyard

Whilst the Chapel does not survive, it was demolished at some time in the 1960's, the graveyard which includes successive Earl's of Dunmore's tombs, together with other gravestones does.

The raised masonry wall which enclosed the east and south boundary, together with flight of steps to the Chapel entrance are discernible today. The west boundary appeared to have comprised a cope stone,

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possibly backed by a hoop top railing. The north boundary comprises a masonry retaining wall, and overgrown Yew hedge.

By far the most impressive tomb is the 6th Earl of Dunmore's Alexander Edward, which features the family coat of arms and as depicted in the circa. 1850 engraving was built against the north wall of the Chapel.

The tombs to the 5th and 7th Earls of Dunmore are also present. The 5th Earl of Dunmore's is the square base, surmounted by a round column and topped with a crucifix evident in the circa. 1850's engraving. The square base is inscribed with the following dedication for his wife, Susan Dunmore *'Oft to this spirit will memory fondly turn. And love's pure flame still unextinguish'd burn. Within HER breast who here doth morn HIS loss. But wails her sorrows to a Saviour's cross. Oh precious hope, by faith to mortals givin. That twining hearts which have on earth been riv'n. May through that same dear Saviour's pleading love again unite in realms of bliss above'*. S.D. 1836.

Around 1846 the gravestone was inscribed with text in memory of Susan Countess of Dunmore. Including her place of death, Richmond Park.

The low-level cast-iron enclosure to the 7th Earls gravestone can be seen on the left-hand side of the photograph taken in 1960.

As with the adjacent tower, the graveyard has not been sufficiently managed and detrimental use has not been policed, allowing significant damage to occur, including vandalism of the successive Earl's of Dunmore's tombs, together with other gravestones.

What is today an area of ground colonised by self-seeded pioneer tree species including birch and Goat willow, analysis of historic photographs confirms that these trees have become established within the past 30 years. Some trees have established within the gravestones and have displaced individual stones. The terrace wall and steps are barely discernible. Collapsed rubble from the tower has buried the entrance steps between the tower and former Chapel on the east boundary.

Management recommendations include:

- Remove all self-seeded trees from the graveyard.
- Re-build collapsed flight of steps on south boundary.
- Excavate rubble and masonry to expose steps on east boundary adjacent to Elphinstone Tower.
- Consolidate burial tombs to successive Earl's and Countesses of Dunmore. Through a combination of; careful removal of trees, securing holes around the base of monuments, sympathetic restoration and conservation of tombs whilst retaining historic patina and faded grandeur.
- Undertake management and maintenance operations within the graveyard.

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Fig 47. Clockwise from top - Examples of invasive tree growth, toppled gravestone, and vandalism to the 5th Earls gravestone within St. Andrew's Chapel graveyard

The path link which runs along the top of the escarpment linking the mansion house with the Chapel can still be traced today. The path leads to a pair of Irish Yew sentinels at the top of a short flight of steps from where an impressive view towards Dunmore Park mansion house can be enjoyed.

Management recommendations include:

- Reinststate path route between metal strap estate fences.
- Consolidate flight of steps at sentinel Yews.

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The Pineapple and walled garden

The Pineapple and walled garden are under the care of the National Trust for Scotland. Access was not gained into The Pineapple. However, the summerhouse and anti-rooms, are let by The Landmark Trust. Both the Pineapple and the garden walls appear to be in good condition commensurate with the age of the structures, with no obvious signs of structural distress. The walls to the walled gardens were recently surveyed by the National Trust for Scotland, with repairs programmed over the next few years under 'The Pineapple Garden Walls Repairs Project'.

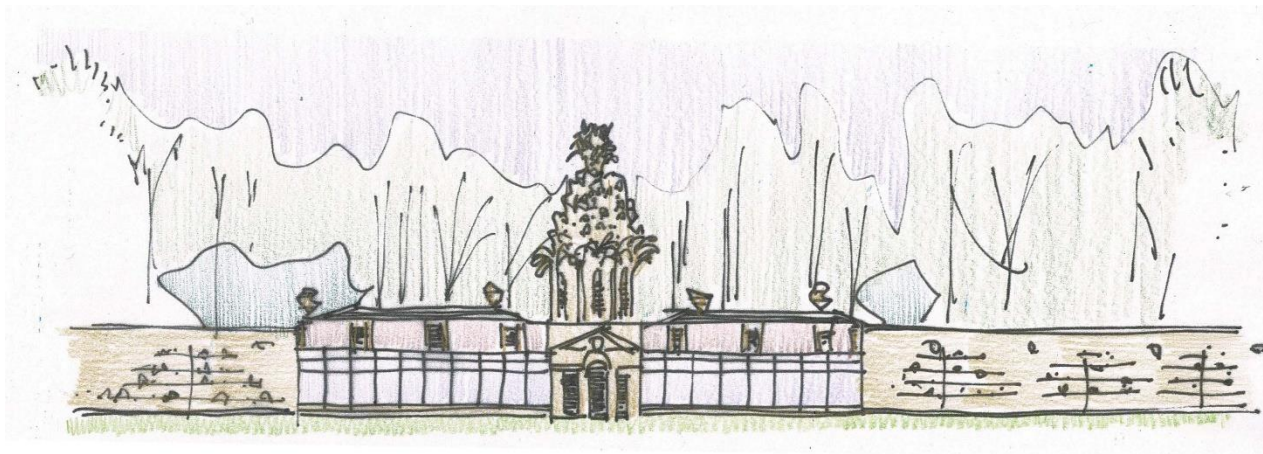


Fig 48. Proposal to reinstate glasshouses

The above illustrates how a modest glasshouse range could be sympathetically accommodated to either side of the portico on the north wall. The intention would not be to heat the glasshouse, but possibly to grow vines above a recreated pinery pit. There are two examples of working pineapple glasshouse within the UK at present. The recreated 19th century pineapple pit developed by Johanna Lausen-Higgins at the Lost Gardens of Heligan, Cornwall and the pinery-vinery at Tatton Park, Staffordshire in a restored structure dating from the mid-18th century.

There are opportunities to interpret the glasshouses in a contemporary way, as seating structures, or sitooteries, which may reference the glasshouse structure or a pineapple, and further develop the horticulture offer by growing espaliered fruit trees along the south facing north wall to complement the existing orchard.

Parsonage

Access was not gained into the Parsonage. However, the house and grounds are marketed as a wedding venue.

East Lodge

Access was not gained into the East Lodge. However, the lodge is occupied.

Management recommendations include:

- Consider replanting Box parterre due to localised losses due to Box blight.

Icehouse

It is rather curious that the estates surviving icehouse is not recorded on the OS Map series. As stated above, were it not for the perseverance and generosity of Geoff Bailey, the author would be none the wiser about the existence of this structure.

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A visual inspection confirmed the structure to be in sound condition.

Management recommendations include:

- Installation of an open grille or gate to secure the entrance into the icehouse, whilst maintaining air flow and potential bat roosting habitat.

Estate walls and metal strap 'estate' fencing

Although perhaps less glamorous than above described heritage assets within the study area, the surviving low-level masonry walls together with metal 'estate' strap fences, perform an important role in delineating the historical policies and tying the whole designed landscape together.

Refer to Figure 1 which locates the extend of surviving masonry walls and short lengths of removed metal estate strap fencing.

Management recommendations include:

- Rebuilding collapsed lengths of low-level masonry walls.
- Reinstall 'lost' estate strap fence lines, based upon surviving sections, historic evidence and likely locations.

Silviculture: the management of specimen trees, tree avenues and policy woodland

Introduction

The condition of the policy woodlands is generally poor, mostly due to their being in private ownership. There are examples whereby large sections of woodland and trees within field boundaries have been grubbed up to maximise land return as either farming, forestry crop plantings or stone extraction.

The policy woodlands have a prevalence of self-seeded pioneer species and a proliferation of *Rhododendron Ponticum* within the understory. This is primarily a biodiversity issue, as *Rhododendron Ponticum* are non-native and highly invasive in character, enabling them to out-compete less vigorous species. However, there are examples of non-Ponticum ornamental *Rhododendrons* planted around the mansion house, lining estate drives and planted within the understory of the ornamental woodland.

Where mature trees including oak, beech, sweet chestnut, and yew do exist, these are extremely small in number.

The redeeming features within the designed landscape are the tree avenues planted in the late 19th century, notably the Wellingtonia, *Sequoiadendron giganteum* planted to a short length of St. Andrew's Drive, together with a short length planted up with alternating European lime and Oak, and a single species European lime avenue to the Dunmore Park approach drive. The above trees were recently surveyed, as the presence of a small numbered metal disk nailed to a trees' trunk, used by arborists when undertaking tree surveys signifies.

Specimen trees

There are notable broadleaf specimen trees, including sweet chestnut, *Castanea sativa*, English oak, *quercus robur* and sessile oak, *Quercus petraea*, which stand as solitary tree specimens within the estate policies.

Connected Dunmore

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Fig 49. Specimen tree - sweet chestnut, *Castanea sativa*, adjacent to the approach drive to Dunmore Park

Management recommendations include:

- Undertaking a bi-annual tree survey to BS5837:2012 by a suitably qualified arborist to monitor tree health and undertake management recommendations.
- Erect protective fencing around trees root protection area to mitigate encroachment by livestock and farming machinery.
- Consult with landowners/managers to inform good husbandry/practice.
- By far the most positive management practice would be to replant the approx. 300 no. individual parkland trees removed from the Hill of Dunmore inner policies and cease arable crop farming practice and adopt grazing instead.
- A further positive management practice would be the replanting of approx. 30 no. individual parkland trees to the front of Dunmore Park.

Tree Avenues

St. Andrew's Drive was planted up with a single species avenue of Wellingtonia, *Sequoiadendron giganteum*. This tree avenue is also a distinctive feature in the wider landscape when traveling on the A876 Clackmannanshire Bridge approach road. Introduced in Scotland in 1853 from their native California, where they grow to a height of 100m and a girth of 27m and live up to 3,700 years.⁶ The trees at Dunmore are likely to have been planted in the late 19th century around 1870-80 and are therefore around 150 years old. The root plates have been restricted by deep ditches lining the drive, and also regular ploughing, which has been undertaken far too closely to the trees.

⁶ Alan Mitchell, *A Field Guide to the trees of Britain and Northern Europe*, COLLINS, 1979 p.96

Management recommendations include:

- Undertaking a bi-annual tree survey to BS5837:2012 by a suitably qualified arborist to monitor tree health and undertake management recommendations.
- Consult with landowners/managers to inform good husbandry/practice.
- Cease ploughing activity within the trees root protection area.
- Removing and replacing dead tree.
- Replanting tree losses to reinstate avenue.

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Fig 50. Tree avenue – St. Andrews Drive Wellingtonia, *Sequoiadendron giganteum*

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Further west on St. Andrew's Lane the tree avenue species composition changes to an oak, European lime mix. Again, the trees were likely to have been planted in the late 19th century around 1870-80. Again, the root plates have been restricted by regular ploughing, which has been undertaken far too closely to the trees.

Management recommendations include:

- Undertaking a bi-annual tree survey to BS5837:2012 by a suitably qualified arborist to monitor tree health and undertake management recommendations.
- Consult with landowners/managers to inform good husbandry/practice.
- Cease ploughing activity within the trees root protection area.

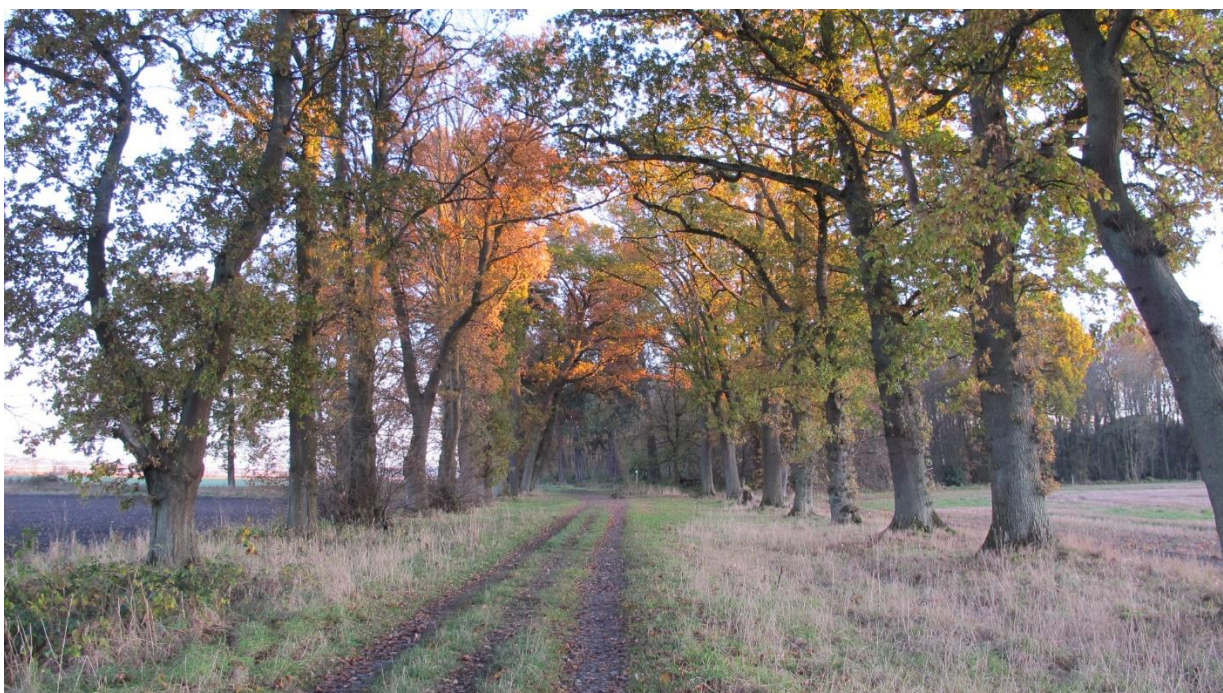


Fig 51. Tree avenue - St. Andrew's Lane oak, European lime' *Tilia x europaea* mix

The short length of Home Farm Drive between the woodland and Airth Road has been planted up with a single species of European lime, *Tilia x europaea*, to form a tree avenue. The age of these trees is probably younger than other tree avenues and is estimated at around 90-100 years. Similarly, to the above tree avenues, agricultural activity around the base of the trees will compromise the long-term health of these trees.

Management recommendations include:

- Undertaking a bi-annual tree survey to BS5837:2012 by a suitably qualified arborist to monitor tree health and undertake management recommendations.
- Consult with landowners/managers to inform good husbandry/practice.
- Cease ploughing activity within the trees root protection area.

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Fig 52. Tree avenue - North Drive European lime' *Tilia x europaea*

Policy Woodland

Due to limitations of the feasibility study, it has not been possible to walk in the policy woodlands. However, through historic map comparisons with the present situation, it is apparent that large areas of woodland have been grubbed up to maximise land return as either farming, forestry crop plantings or stone extraction.

The policy woodlands have a prevalence of self-seeded pioneer species and a proliferation of *Rhododendron Ponticum* within the understory. This is primarily a biodiversity issue, as *Rhododendron Ponticum* are non-native and highly invasive in character, enabling them to out-compete less vigorous species. However, there are examples of non-Ponticum ornamental *Rhododendrons* planted around the mansion house, lining estate drives and planted within the understory of the ornamental woodland.

Management recommendations include:

- Prepare a woodland management plan by a suitably qualified arborist making recommendations for tree removal, retention and replanting and undertake management recommendations.
- Consult with landowners/managers to inform good husbandry/practice.
- By far the most positive management practice would be to replant the core of the estate policy woodland which was felled within the past 10 years. New tree planting should comprise a mix of native broadleaf tree species, as well as non-native exotic trees as is characteristic of designed landscapes and evident locally within the policy woodlands at Dunmore.

Connected Dunmore

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7.0 Community Consultation and Stakeholder interests

Introduction

The production of this feasibility study included a consultative process, involving stakeholders, experts in local heritage and the community. This took place through a combination of meetings with The Dunmore Residents Association, The Dunmore Bowling Club and one to one discussion with stakeholders.

Local Community

During the feasibility study we sought responses from a broad audience, however community responses were limited with 6 respondents including members of the Dunmore Village Association.

The points mentioned by consultees included:

- Dunmore village and Dunmore Park Estate are important to both the local communities of Dunmore, Letham, Airth and South Alloa for their amenity and heritage value.
- There is significant concern that the physical and cultural heritage of the area is being eroded by time and other developments in the area. Structures and stories are at risk of loss.
- Land ownership is complex, and few owners were willing or able to get back to us.
- Parking is seen as a significant restriction.
- The lack of wayfinder signage and route marking restricts access.
- The existing pathways are in places, or seasonally in poor condition. Seasonal agricultural activity also damages path routes making them hard to navigate.
- There is a distinct lack of visitor facilities outside Airth – toilets, rest spots, shelter and refreshments.

Teams site observations

Whilst undertaking the study, the consultant team typically met local dog walkers, together with commercial dog walkers using the Dunmore Pineapple and Dunmore village walk routes. We encountered a lone walker using the wider path network within the estate. This may in part be due to the time of year when the study was undertaken, during the autumn and winter months. There was a lone equestrian using St. Andrew's Lane/Drive and evidence of equestrian use on the wider path network within the estate.

Casual conversations with members of the public while conducting fieldwork suggested that, while visitors had a passive interest in built heritage, they saw the wider Dunmore estate beyond The Pineapple as a resource for leisure and recreation. This could be taken to highlight the need for more extensive access and promotion of the heritage assets of the estate to assist in changing perceptions of the area – precisely what the Falkirk Greater Places project intends to do.

These conversations revealed a latent interest in the historic environment with the majority of visitors, who were only too keen to point out the estate's heritage assets. This confirms an awareness and interest in the estate's historic assets currently unsatisfied by local provision.

Personal observations conclude that very few visits were specifically to see The Pineapple, and that the majority of users are dog walkers and ramblers. My own visits to The Pineapple have taken place since 1994 when I first visited as a second-year student of Landscape Architecture at Edinburgh College of Art,

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guided by second year tutor John Stuart-Murray. Since which time I have revisited with family and friends, but never ventured beyond the confines of the walled garden and have made numerous recommendations to colleagues and professionals to visit The Pineapple at Dunmore.

Stakeholders

As noted above, a series of informal discussions were held with key individuals and agencies involved in the management and promotion of the heritage assets within the Dunmore Park Estate. This included a number of stakeholder organisations with interests in the area including:

- National Trust for Scotland
- The Landmark Trust
- Inner Forth Futures (formerly Inner Forth Landscape Initiative)
- Falkirk Council
- Sustrans
- Advance Construction Scotland (Dunmore Lodges)
- George Russell Construction Ltd. (Pineapple Visitor Centre)

No property owners/occupiers within the core study area were consulted during the feasibility study.

Known residents include:

- East Lodge
- Pineapple Cottage
- Gardeners Cottage
- Dunmore Park Farm

Third party development proposals

There are currently two major developments that have the potential to draw visitors to Dunmore but may be viewed as less positive depending on their authenticity and delivery.

The first development comprises proposed holiday lodges within 9 development plots accessed by a new road accessed off Moss Road. The proposals include car parking and path routes. However, it is not clear whether the proposals include the upgrading of existing path routes or constructing new routes. The development extends into the core of the design landscape covering much of the area recently cleared of woodland.

It is not possible to comprehend the extent of the proposed development from the documents which accompany the planning application. Notably the Road and Phasing layout would benefit from indicating the existing physical features. The proposals would benefit from a layout which includes the wider setting and indicates the physical features within the Dunmore Park estate landscape. It is unclear whether the proposed path routes indicated utilise the existing network of paths associated with the designed landscape.

The proposals will necessitate further tree removal to form the access road, in addition to the substantial area of estate policy woodlands which have already been felled.

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The second development comprises proposals for a visitor centre and associated car parking provision located within existing field between the east approach drive to the category A-listed Pineapple and the A905. The proposed site plan includes structure landscape blocks to screen the proposed development and associated car parking from the main A905 Airth to Fallin road. However, no structure landscaping has been proposed to screen the development from the east drive. The proposals include a short path link between the proposed visitor centre which stops at the east approach drive. It is not clear whether pedestrians would be expected to walk along the existing single track unmetalled drive to visit The Pineapple. The proposals would benefit from consideration how they can retain and improve the existing Core Path routes and wider path network. Notably, connectivity with The Pineapple.

The landscape proposals consist of small isolated woodland blocks which does not reflect the historic planting approach within the wider remnant 19th century designed landscape.

There is great potential for the community to benefit from these developments if positive relationships are developed. The benefits that could be realised include:

- Access and interpretation improvements
- Woodland planting and management of existing woodland
- In-kind or planning gain contributions to potential projects such as access and interpretation, car parking provision or the Bowling Club Pavilion
- Additional parking provision within walking distance of the village and the estates path network
- A solution to the lack of toilet and refreshment facilities making Dunmore more of a destination
- Increased visitors to the area to explore and share the heritage
- Increased custom for local businesses
- Opportunity to build project outputs into bigger publicity and marketing campaigns
- Increased employment for local people
- Greater audience from which to seek support and donations for village maintenance

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8.0 Marketing Strategy

Introduction

It is important that Dunmore gains recognition in branding and marketing to reclaim The Pineapple in particular. The proposals below make suggestions on how to raise greater awareness, demonstrate what it has to offer, attract visitors, generate greater awareness and increase awareness of historical assets.

Proposals for marketing Connected Dunmore

Location and audience

*'Despite its heritage importance, the Inner Forth area is undervalued and often perceived solely in terms of its industrial or post-industrial features dotted throughout each local authority area. Well used communication links encircle and criss-cross the landscape, moving people efficiently through and beyond the area, often bypassing the unique sights, sounds and views that reveal a landscape rich in natural and cultural heritage. Social problems, including unemployment, health inequalities and areas of multiple-deprivation remain and the potential for heritage and a unified identity to be part of the solution is poorly recognised.'*⁶

The above summarises the challenges faced by visitor attractions locally.

Within the wider project area, there are significant heritage attractions (e.g. Falkirk Wheel, Stirling Castle, Bannockburn Heritage Centre, National Wallace Monument, Culross Abbey and village, The Kelpies, The Helix Park and Dunfermline Abbey) and routes (the John Muir Way and NCN Route 76) which attract high visitor numbers. Within the local project area, there are competing heritage attractions (e.g. Bo'ness & Kinneil Railway, Bo'ness, Linlithgow Palace, Callendar House, Blackness Castle, Linlithgow Union Canal, Kinneil Museum, Bo'ness, Antonine Wall, Pleas Country Park, Grangemouth Heritage Trust and Zetland Park, Grangemouth).

Dunmore in particular suffers this bypassing but also to a certain extent the hijacking of its prized heritage asset by neighbouring Airth. Since the road to the Pineapple runs from the outskirts of Airth into Dunmore Park estate, the heritage asset is most often referred to in terms of its location as being at Airth. The Visit Scotland Falkirk Tourism Interactive Map is a good example of referencing the Pineapples location in the vicinity of Airth with no mention of Dunmore.

⁶ The Inner Forth Landscape Initiative *Inner Forth Wanderings & Windings Final Project Evaluation Report* January 2020 p.3

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FALKIRK INTERACTIVE MAP



Fig 53. The Falkirk Tourism Interactive Map www.visitscotland.com/destinations-maps/loch-lomond-trossachs-stirling-forth-valley/falkirk-map/



Fig 54. Visit Falkirk <http://www.visitfalkirk.com/things-to-do/heritage/the-dunmore-pineapple/>

Secondly the prized asset The Pineapple should act as a focal point in a wider story of the estate and the village but it is presented as a stand alone asset rather than the jewel in the crown or a wider heritage desintation. The Dunmore Village Association will need to work with the project partners responsible for The Pineapple to help redress the balance.

The Landmark Trust, who lease and let the Pineapple itself, are understandably keen to protect the privacy and amenity holiday visitors who are paying to stay in the building. However, they may welcome an approach to improving the access and interpretaion that encourages visitors to explore the wider

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Dunmore Park estate. The National Trust for Scotland have prepared excellent interpretive information within the walled garden.

Audience

The main audience for the completed project will be local residents and visitors to local businesses including tourists staying at Airth Castle Hotel & Spa. The local communities of Dunmore and Airth are the immediate targets. Walking groups and local cyclists can also be encouraged to visit more depending on the access routes into the estate being developed, publicised and maintained.

Key aspects to consider - **Existing material**

There is already existing materials promoting routes around Dunmore and sharing some of its heritage. Utilise these existing materials better:

- Make it available via the website.
- Seek permission from the Falkirk Council to use the map images from Walks Around Airth Parish and build a web section about access routes and into the walk information provided around the Estate.
- Seek to have new paths included in web versions and any reprints.
- Seek to have the name of Dunmore village included in the title.

Working with partners

The National Trust for Scotland, The Landmark Trust and VisitScotland Falkirk all reference the heritage of The Pineapple and in some cases the wider estate in their published web material. Of these, The Landmark Trust is the only one to link to the Dunmore Village website. More could be made of the relationship between the partners' organisations with an interest in access to the Pineapple and Dunmore Park estate. Ensuring any new Dunmore Village website links to these partners and asking them to reciprocate.

An exciting opportunity is that the Landmark Trust has offered to be involved in providing access into the Pineapple as part of Falkirk's offer in the Doors Open Day event. Doors Open Day is Scotland's largest free festival that celebrates heritage and the built environment. It offers free access to over a thousand venues across the country which takes place annually during the month of September. I have no doubt that this would be extremely well attended and careful consideration should be given to facilitating access which may require restricting visit numbers to reflect access and parking constraints. There is the potential to combine the opening of The Pineapple with guided walks within the wider Dunmore Park estate. The inclusion of The Pineapple within such a prestigious event as Doors Open Day, and an example of partnership working, would undoubtedly put Dunmore on the map in the minds of a wider audience.

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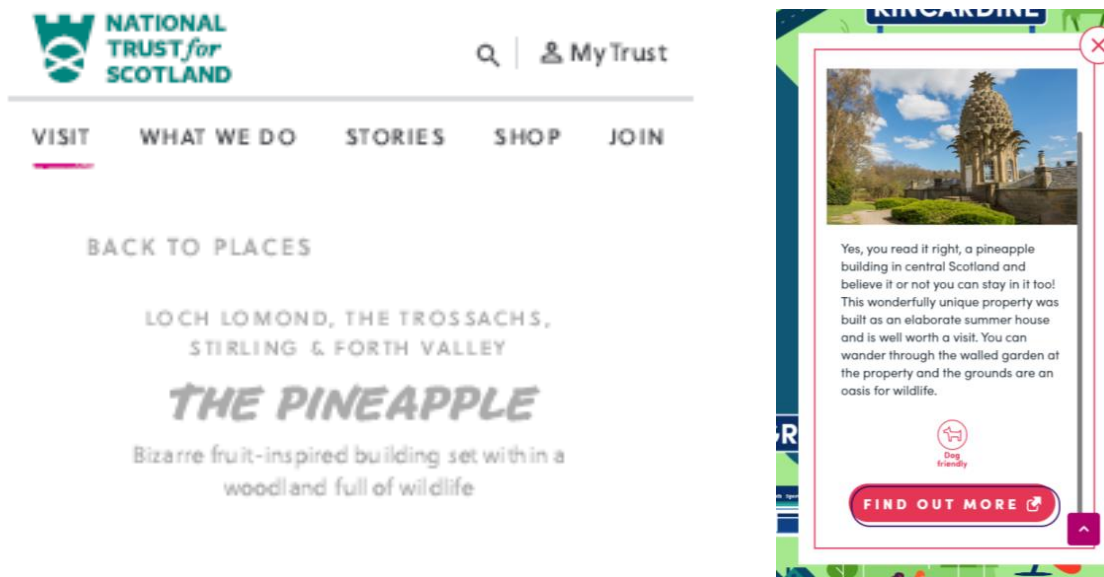


Fig 55. National Trust for Scotland www.nts.org.uk/visit/places/the-pineapple

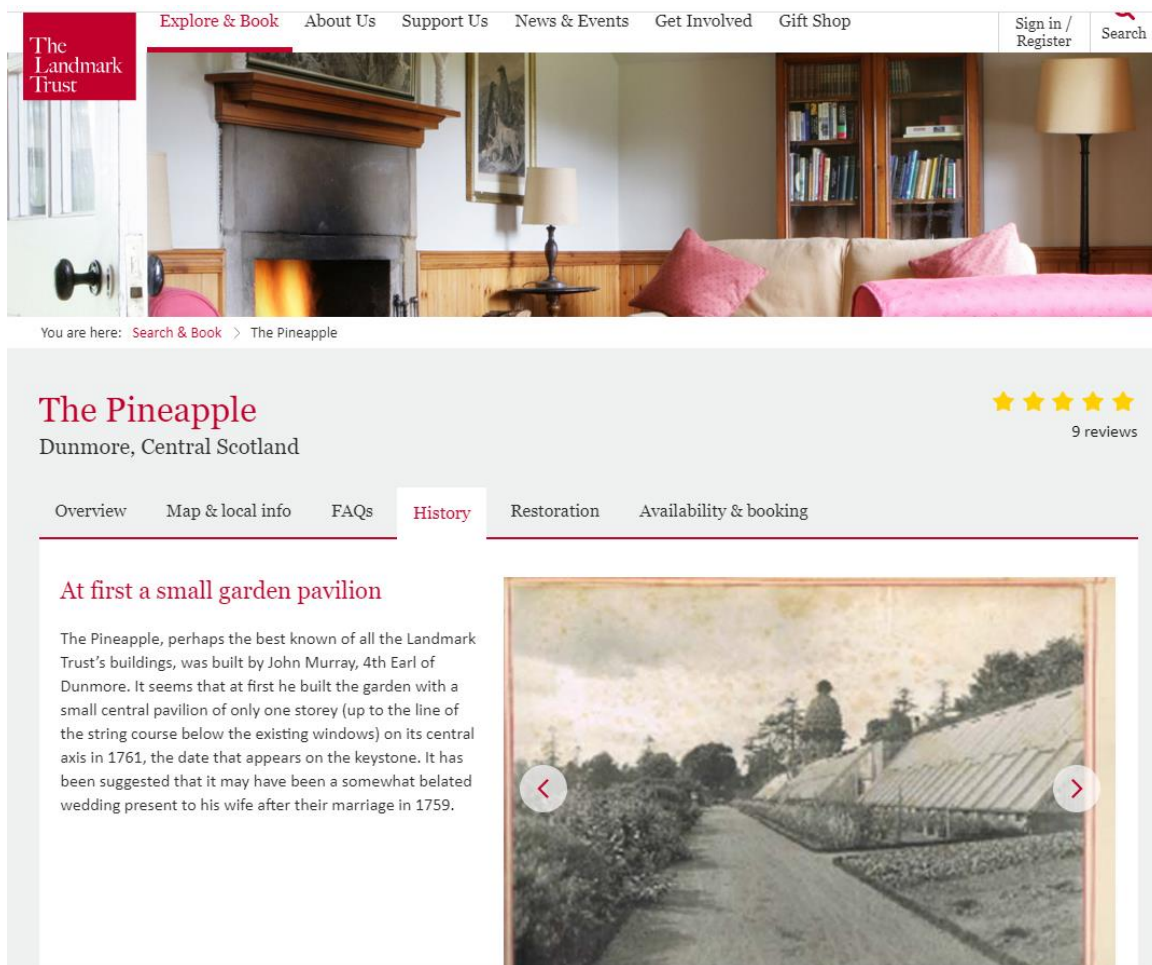


Fig 56. The Landmark Trust www.landmarktrust.org.uk/search-and-book/properties/pineapple-10726/#Overview

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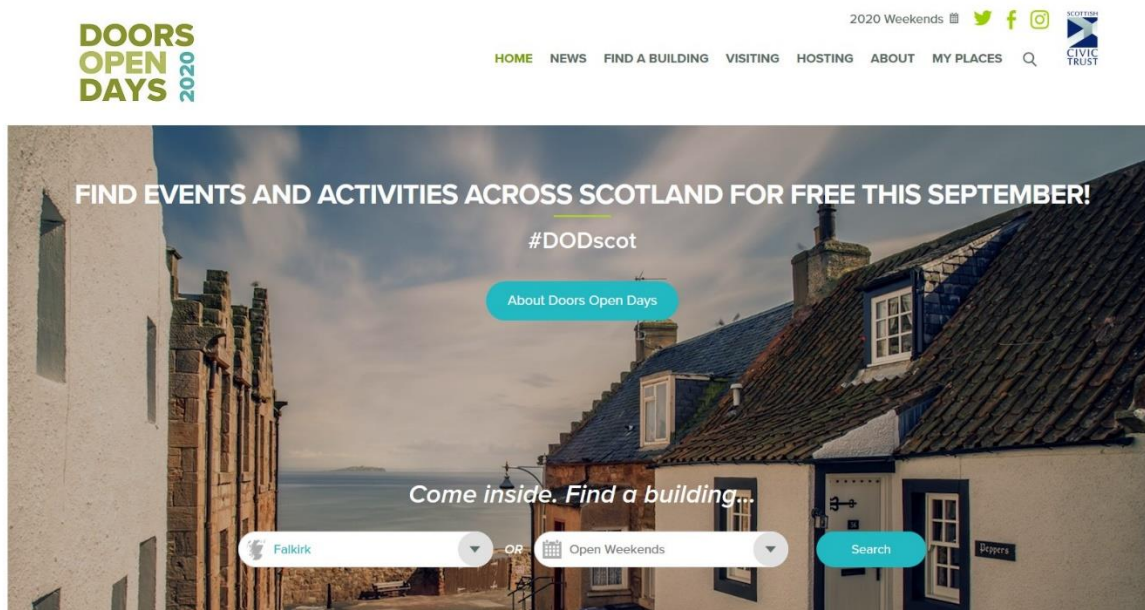


Fig 57. Doors Open Days www.doorsopendays.org.uk/find-a-building/?area=7512

Develop a new website

The Dunmore Village Associations existing website <http://www.dunmorevillage.co.uk/>

was assessed by a website developer who concluded that the build approach was out-of-step with current web technologies as it had been originally built 2012, and that any overhaul of the site should involve rebuilding it rather than adapting what's already there. Were this to be pursued we would recommend engaging a website designer to undertake the website, and:

- Choose a simple to edit base platform so that it can be easily maintained
- Include walks and cycle information
- Include reciprocal links to NTS, Landmark Trust & VisitScotland in addition to Falkirk Council and locale heritage organisations
- Events programme
- Make links to TripAdvisor reviews – you as a community can submit some
- Consider whether charitable donations could be made via. the website

Social media

The Dunmore Village Associations website includes links to the following social media platforms; Facebook, Twitter, tumblr and pintrest. Social media channels are valuable in different ways, and also come in and quickly out of fashion, tumblr for example. Therefore, we would recommend focussing on two social media platforms, Facebook and Instagram.

- Facebook tends to attract a mid to older age range and is especially useful for regular messages, updates, alerts, event promotion and ticket sales. The Messenger functionality allows you to communicate easily with your audience.

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- Instagram is a photo album compiled by visitors to the area and local people. A good example of a potential contributor is the gentleman we met who came by public transport to photograph the ruins. His images could be shared on Instagram with a wide audience who may then be drawn to visit. You can also share some of the stories of the area.

A review of Instagram # confirms #dunmorepineapple has 750 posts, #dunmorepark has -500 posts.

Both can be powerful tools in fundraising, particularly for more distant donors with links to the area.

Annual Events programme

An events programme provides an opportunity to both engage a wider local audience and also spread the load of engagement across a wider cohort of volunteers.

- Tea of the Green – existing event
- Guided walks – History of Dunmore Village, Heritage of Dunmore Park estate, All Hallows evening walk. Be guided by the stories a walk leader would like to share, and are equipped to tell
- Doors open day in conjunction with Landmark Trust & National Trust for Scotland
- Talks – the Architecture of Dunmore Park (can't access safely but a slide show/video with knowledgeable speaker would be great)
- Airth Primary School guided walk/ treasure hunt

QR codes on interpretation boards

A means of connecting visitors to the estate walks to wider information, the village and fundraising for maintenance is valuable. Dynamic QR codes (with training) are easy to use and allow you to change the page you take visitors too. This means local visitors will not become tired of the same links and occasional visitors are linked to the website offering them options to spend more time in the area. Simple QR codes can also be used but these are fixed, not editable.

Audience specific walks developed (same routes/different info)

Potential content includes spooky stories, family treasure hunt (find landmarks, features in stonework, impressive trees etc.) heritage trail. All set off from Dunmore village – simple maps available outside Bowling Club Pavilion. Consider the different audiences you have for the village and estate from young people, families, to older visitors, photographers, ghost story hunters etc.

Work with proposed development at Dunmore Lodges and Pineapple Visitor Centre

- Outlets for leaflets and information (e.g. walks leaflet in every Lodge bedroom and map on central info point.)
- Attractors of greater visitor numbers and providers of facilities for your visitors.

Training needs

Identify the training needs of your 'project team'. These could include website editing, social media skills, project management, fundraising etc.

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Publicity

Take opportunities to create publicity for the project. Media coverage is an important means of raising awareness of the project and of the routes/heritage in future.

[What's On](#) > [Things To Do](#)

Walk of the week: The Pineapple near Falkirk

THE Pineapple is one of Scotland's best known follies. It was built in 1761 for John Murray, the fourth Earl of Dunmore, as a garden retreat and now attracts visitors year round.

By NICK DRAINEY

Sunday, 26th April 2015, 2:47 pm

Fig 58. *The Scotsman* www.scotsman.com/whats-on/things-to-do/walk-week-pineapple-near-falkirk

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9.0 Cost Summary and Potential sources of Funding

Introduction

The recommendations contained above in Chapter 5.0 Access and Interpretation Recommendations and are intended to assist in orientation within and around the Dunmore estate and gender greater awareness and appreciation of the site's historic assets. Chapter 6.0 Management Issues and Recommendations makes recommendations for the management and vulnerabilities of historic and natural assets within the study area.

Outline Costings

These recommendations have associated costs, which are expressed in the below table.

Access and Interpretation component	Cost £ sterling Ex. VAT
Interpretation boards	£25,000.00
Waymarker posts	£35,000.00
Proposed car park at The Pineapple	£175,000.00
Management Issues component	Cost £ sterling Ex. VAT
Dunmore Park	
Minimal works	£15,000.00
Necessary works	£100,000.00
Advanced works	£10 Million
Tree removal to terrace	£15,000.00
Dunmore Park Stables	
Minimal works	£5,000.00
Necessary works	£25,000.00
Advanced works	£250,000.00
Elphinstone Tower	
Minimal works	£5,000.00
Necessary works	£250,000.00
Advanced works	£2.5 Million
Church wood management	£25,000.00
St. Andrew's Chapel graveyard	£150,000.00
The Pineapple glasshouses	£500,000.00

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East Lodge	£5,000.00
Icehouse	£5,000.00
Masonry walls	£50,000.00
Metal 'estate' strap fences	£75,000.00
Specimen trees	£90,000.00
Tree avenues	£20,000.00
Policy woodland	£50,000.00
New Development component	
Dunmore Bowling Club Pavilion the 'Hut'	£1,250,000.00
Toilet facilities at The Pineapple	£75,000.00

The above figures are based upon initial design proposals developed at feasibility stage. Therefore, the above should be considered as guide figures only, and costs should be prepared by a cost consultant.

Further we would recommend allocating at least an additional 20% of the capital cost to cover risk and contingencies – which are often a major factor when dealing with unstable and unpredictable historic structures.

Further the above figures do not include for design team fees. Due to the complexities of the historic structures, an allowance of 10-15% should be added to reflect likely order of fees.

Going forwards the following disciplines would be involved in developing detailed proposals for the historic assets:

- Conservation accredited architect or engineer.
- Landscape architect.
- Cost consultant.
- Ecologist.
- Principle designer.
- Planning Consultant.

The following disciplines would be involved in developing detailed proposals for the access and interpretation component:

- Landscape architect.
- Civil engineer (car park).
- Cost consultant.
- Ecologist.
- Arboriculturalist.

The following disciplines would be involved in developing detailed proposals for the replacement Dunmore Bowling Club Pavilion:

- Architect.
- Civil and Structural engineer.

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- Mechanical and Electrical engineer.
- Cost consultant.
- Ecologist.
- Principle designer.
- Planning Consultant.

An allowance for inflation should be made in the cost plan and in future funding applications. This should reflect the likely timescale for implementation. Adjustments for inflation can be calculated in detail from Construction indices which are variable. A reasonable 'average' rate of inflation for this range of work would be in the order of 5% per annum.

Potential sources of funding

Access and Interpretation component	Funding source
Core Path improvements	CSGN Development Fund – Strategic Routes http://www.centralscotlandgreennetwork.org/resources/funding/csgn-development-fund
Path improvements	Paths for All – Community Paths www.pathsforall.org.uk/cmp-grants Viridor Credits (for improving public amenity and access. Also fund historic buildings) https://www.viridor-credits.co.uk/ Advance Civil Engineers (potential for In-kind contributions to support path work, car park construction, civil works for Bowling Club Pavilion)
Cycle/Walk Route development (Route 76 – Airth – Dunmore route)	Sustrans 'Places for Everyone' programme (collaborative design and funding support) https://www.sustrans.org.uk/our-blog/projects/2019/scotland/places-for-everyone/ Sustrans Scotland's Street Design Programme https://www.sustrans.org.uk/our-blog/projects/2019/scotland/street-design-in-scotland/ CSGN Development Fund – Active Travel http://www.centralscotlandgreennetwork.org/resources/funding/csgn-development-fund
Interpretation boards	CSGN Development Fund – Active Travel http://www.centralscotlandgreennetwork.org/resources/funding/csgn-development-fund
Waymarker posts	CSGN Development Fund – Active Travel

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	<p>http://www.centralScotlandgreennetwork.org/resources/funding/csgn-development-fund</p> <p>Paths for All – Active travel www.pathsforall.org.uk/cmp-grants</p> <p>Scotways small grants scheme https://www.scotways.com/downloads</p>
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Management Issues component	Funding source
Dunmore Park and The Pineapple designed landscape	<p>Preparation of a landscape management plan for inventory sites</p> <p>Historic Scotland – Environmental support fund www.historicenvironment.scot/grants-and-funding/our-grants/historic-environment-support-fund/</p> <p>Restoration works (potentially dependent on detail) National Lottery Heritage Fund https://www.heritagefund.org.uk/funding</p> <p>The Wolfson Foundation - Funding for Places - historic buildings & landscapes https://www.wolfson.org.uk/funding/funding-for-places/</p>
St. Andrew’s Chapel graveyard	<p>Historic Scotland – Historic Environment Repair Grant www.historicenvironment.scot/grants-and-funding/our-grants/historic-environment-repair-grant/</p> <p>National Lottery Heritage Fund https://www.heritagefund.org.uk/funding</p>
Silviculture	<p>Woods in and Around Towns (WIAT) www.forestry.gov.uk/scotland</p> <p>Forestry Grant Scheme www.forestry.gov.scot/support-regulations/forestry-grants</p> <p>Viridor Credits (biodiversity strand) https://www.viridor-credits.co.uk/</p>

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Marketing component	Funding source
Engagement, communication, publicity and promotion	<p>Falkirk Council Community Grant https://www.falkirk.gov.uk/services/people-communities/funding/community-grants.aspx</p> <p>Falkirk Council – in-kind support for web reprint of Airth Parish Walks leaflet to include new routes through Dunmore Estate</p>
Training and materials	<p>IFLI Management & Maintenance Fund: Pot 2: Training and support legacy funding https://www.innerforthlandscape.co.uk/about/ifli-legacy</p>
Website	<p>Transform Foundation - Website Grant www.fundingforall.org.uk/funds/transform-foundation-website-grants/</p>

All aspects of the project	Funding source
Broad range of elements eligible	<p>National Lottery Awards for All Scotland https://www.tnlcommunityfund.org.uk/funding/programmes/national-lottery-awards-for-all-scotland</p>
Broad range of elements eligible	<p>Postcode Lottery – Local Trust https://www.postcodelocaltrust.org.uk/</p>
Broad range of elements eligible	<p>Crowdfunding. Chance to enable visitors or distant people with connection to donate. Kelvin Valley & Falkirk Leader has support from Crowdfunder to offer 1:1 support for a campaign. http://www.kvfleader.org.uk/kvf-crowdfunding-events-2/ https://www.crowdfunder.co.uk/programmes/crowdfund-scotland</p>
Broad range of elements eligible	<p>Tesco Bags of Help Fund https://tescobagsofhelp.org.uk/tesco-community-grants/</p>

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The Bowling Club/ Village hall	Another crowd-funding platform that may work for the Bowling hut is Spacehive https://www.spacehive.com/
The Bowling Club/ Village hall	Trusthouse Charitable Foundation - Community Centres and Village Halls http://trusthousecharitablefoundation.org.uk/

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Report prepared by:

Matthew Benians, MBLA Design Ltd. 2020

